

TOWN CENTER DISTRICT CODE

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The photo examples included in this document are intended to graphically convey the intent of the Town Center Code, particularly in relationship to the immediate text.

Photographs may not accurately reflect all aspects of the Code.

Text Update & Graphic Editing

City of Winter Springs
Community Development Department
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City of Winter Springs Community Development Department

SEC. 20-320. INTENT.

(a) The City of Winter Springs seeks to create a Town Center based upon traditional standards for city building.

In February, 1998 the City of Winter Springs created a plan for the Town Center through a design session involving the community and a team of design professionals. This division is based on that plan. Traditional urban design conventions have been applied to create a palette of squares, parks, and street types that form the framework for the Town Center.

On August 1, 2011, City staff and a representative from Dover-Kohl and Partners presented a workshop to the City Commission regarding the future direction of the Town Center. As a result of this workshop, the City Commission directed staff to prepare revisions to the Town Center Code that would incorporate the ideas of the transect into the Town Center District Code. The transect categorizes settlement patterns into “zones” that range from areas with a very rural character to a very urban character.

Review standards for the Town Center are derived from a number of sources in planning literature. Where approvals, interpretations and judgments are left to the discretion of City officials, these officials shall use the following texts for guidance as to best practices:

Civic Art, by Hegemann and Peets;

Great Streets, by Allan B. Jacobs;

The New Urbanism: Toward an Architecture of Community, by Peter Katz;

AIA Graphic Standards, 9th Edition;

The Lexicon of the New Urbanism, by Duany et al, Congress for the New Urbanism;

Shared Parking, by Barton-Aschman Associates, The Urban Land Institute

SmartCode, Version 9.2

The Language of Towns & Cities: A Visual Dictionary, by Dhiru A. Thadani

The New Civic Art – Elements of Town Planning, by Andres Duany, Elizabeth Plater-Zyberk, and Robert Alminana

Inclusive Housing: A Pattern Book, by the Center for Inclusive Design and Environmental Access

Traditional Construction Patterns, by Stephen A. Mouzon

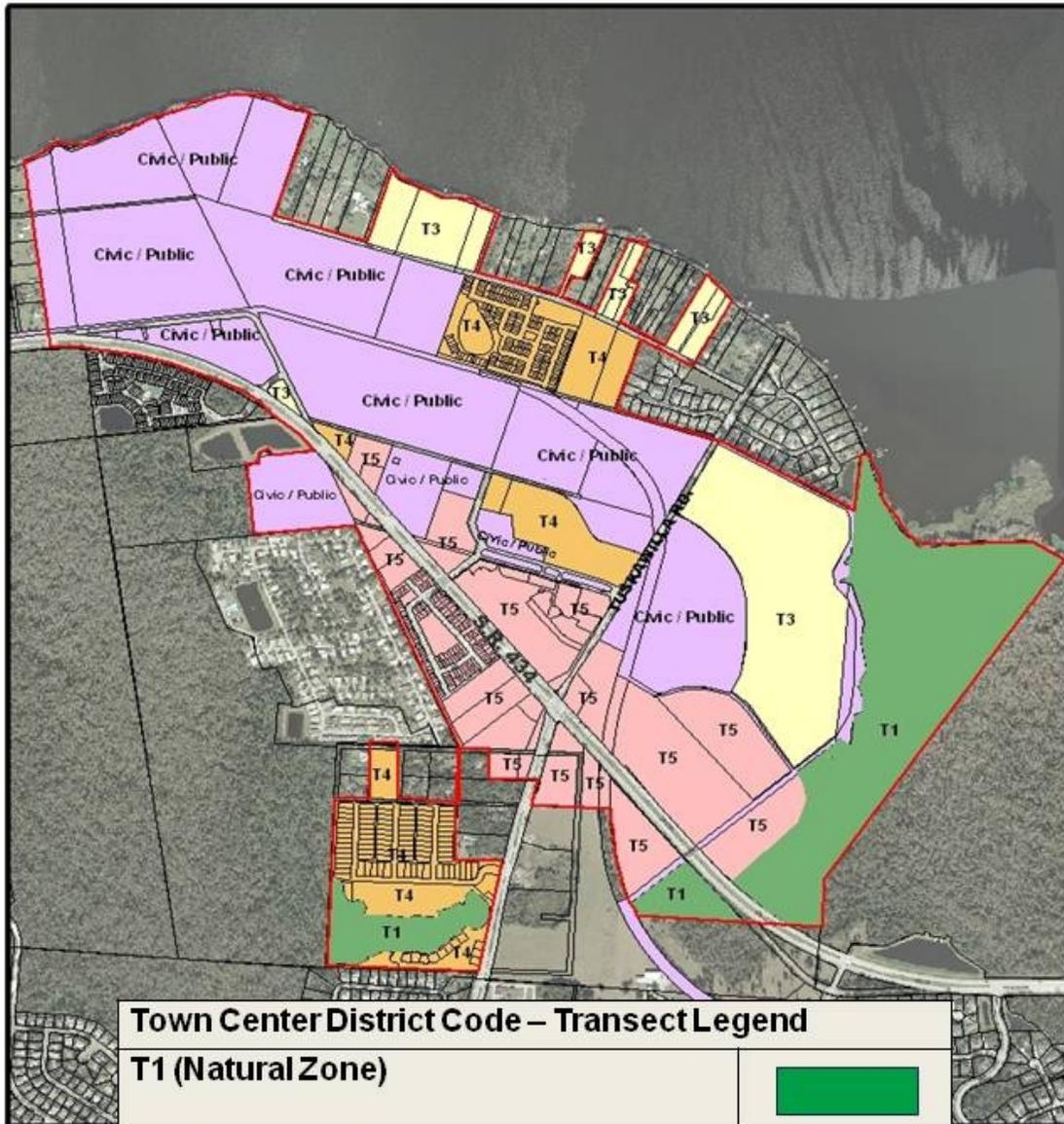
Get Your House Right, by Marianne Cusato

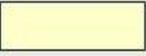
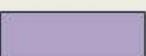
(b) This division repeals the Town Center Overlay Zoning District Regulations of June 9, 1997 (Ordinance No. 661) and September 8, 1997 (Ordinance No. 676). Should any conflict arise between the provisions of this division and other local land development regulations for the City of Winter Springs, the provisions of this division shall apply. To the extent that this division is silent where other codes govern, they shall apply.

TOWN CENTER DISTRICT BOUNDARY MAP



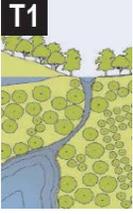
Town Center District Transect Map



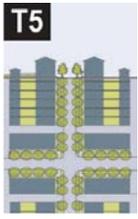
Town Center District Code – Transect Legend	
T1 (Natural Zone)	
T3 (Suburban Zone)	
T4 (General Urban Zone)	
T5 (Urban Center Zone)	
C/P (Civic/Public)	

Transect Zone Descriptions

This table provides descriptions of the character of each Transect zone.

<p>T1 (Natural Zone)</p> 	<p>General Character: Natural landscape (i.e. wetlands) that is typically unsuitable for development.</p> <p>Building Placement: Not applicable</p> <p>Typical Building Height: Not applicable</p>
<p>T2 (Rural Zone)</p> 	<p>General Character: Sparsely settled lands in an open or cultivated state. Typical buildings include farmhouses and agricultural buildings.</p> <p>Building Placement: Variable setbacks</p> <p>Frontage Types: Not applicable</p> <p>Typical Building Height: 1 and 2 story</p>
<p>T3 (Suburban Zone)</p> 	<p>General Character: Consists of the least dense residential areas with some mixed-use. Home occupations and Accessory Dwelling Units (ADU) are permitted.</p> <p>Building Placement: Medium to Large front and side yard setbacks</p> <p>Frontage Types: Porches, fences, common yards</p> <p>Typical Building Height: 1 story minimum, 3-story maximum</p> <p>* See Section 20-324(11) for additional details</p>
<p>T4 (General Urban Zone)</p> 	<p>General Character: Consists of mixed-use but primarily residential urban fabric in a more compact area that is close to the core of the Town Center. A wide range of building types both residential and commercial in nature are found in this zone.</p> <p>Building Placement: None to medium front and side yard setbacks</p> <p>Frontage Types: Porches, fences, common yards</p> <p>Typical Building Height: 2 story minimum, 4 story maximum*</p> <p>* See Section 20-324(11) for additional details</p>

T5 (Urban Center Zone)



General Character: Comprises the core of the Town Center and consists of a higher intensity mix of uses such as retail, offices, and residential.

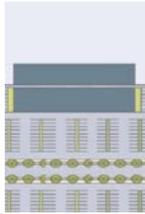
Building Placement: Shallow setbacks or none, buildings oriented close to the street defining a street wall.

Frontage Types: Stoops, shop-fronts, galleries

Typical Building Height: 2 minimum, to 5 story maximum*

* See Section 20-324(11) for additional details

C/P (Civic/Public)



General Character: Used for functions of public benefit such as parks and recreation areas, and government uses. Design standards shall be evaluated by the Community Development Department for recommendation to the Development Review Committee (DRC).

(c) HOW TO USE THIS CODE:

(1) Review the policies and administration procedures specifically applicable to the Town Center including those contained in the City’s Comprehensive Plan and the Town Center District Code.

(2) Identify the transect zone assigned to the subject property.

(3) Determine whether the proposed use is permitted in the applicable transect zone and is compatible under existing conditions at the proposed location with other adjacent or nearby land uses within the Town Center and any established surrounding neighborhoods.

(4) Review the general provisions and other requirements which apply throughout the applicable transect zone.

(5) Determine which street type your lot fronts on the thoroughfare standards map.



Tuscawilla Road Retail, Winter Springs Town Center

(6) Review the building elements and architectural guidelines which contain specific rules for architectural design.

(7) Prepare plans and specifications for submittal to the City in compliance with applicable law including, but not limited to, the City’s Comprehensive Plan and Town Center District Code.

SEC. 20-321. ADMINISTRATION.

(a) INTERPRETATION OF THE STANDARDS. Interpretation of the standards in this division shall be the responsibility of the city's development review committee (DRC). Unless otherwise authorized by resolution of the city commission, the City Commission shall serve as the development review committee under this division. The adopted Master Plan (inclusive of any economic development strategies adopted by the City Commission for the Town Center) shall serve as guidance to the development review committee with regard to the city's intent for land development in the Town Center. The images contained in this division are meant to demonstrate the character intended for the Town Center and shall be the guide for future development, but are for illustrative purposes only. The accompanying text and numbers are rules that govern permitted development.

(b) REVIEW PROCESS.

(1) Applications are subject to final review and approval by the development review committee (DRC). Prior to final review and approval by the development review committee, all new applications, and proposed substantial amendments to previously approved applications, shall be reviewed by the planning & zoning board for purposes of issuing an advisory recommendation to the development review committee.

The committee shall have authority, within reason and applicable rules, for approving all aspects of site planning and exterior architecture, including aesthetic appropriateness, verification of an acceptable economic fiscal impact, environmental implications, traffic impacts, and any other site-specific matters not delineated herein.

(2) Optional preliminary review: Applicants may, at their option and sole cost and risk, submit site layout and building elevation designs in schematic or sketch form to the development review committee for a non-binding and preliminary review as an initial courtesy to the applicant. These submittals are subject to a more formal application process which requires the submission of more detailed plans and specifications and requires a more detailed review and final consideration of approval by the DRC. Comments and statements made by City officials at the preliminary review are non-binding unless memorialized in a written agreement approved by the City Commission. City staff and the applicant shall only seek feedback from the Commission and City staff shall not make a formal recommendation regarding the proposed project at this time, unless the application is accompanied by a written development agreement being proposed by City staff for the Commission's approval. In which case, the City staff shall make a recommendation regarding the application and proposed agreement. This non-binding and preliminary review shall not be relied upon by the applicant as a final decision and shall not be construed in any manner as creating any vested right or entitlement for the development of the subject property. By requesting and participating in the optional preliminary review process, the applicant shall be deemed to have read and agreed to this code provision and to hold the City and its officials harmless for any future actions they may have taken based on the results of a preliminary review pursuant to this section.

(3) Applicants shall submit the following items to the Community Development Department for review:

- a. A current up-to-date site survey.
- b. A current up-to-date tree survey.
- c. A site plan, drawn to scale, which shall indicate:
 1. Building locations and orientations, and landscape areas;
 2. Parking locations and number of spaces;
 3. Paved surfaces, materials and location(s);
 4. Site location diagram and legal description; and
 5. Signage.
- d. Building elevations illustrating all sides of structures facing public streets or spaces.
- e. A parking analysis justifying the proposed parking solution (such as Shared Parking, by Barton Aschman Associates, The Urban Land Institute).
- f. An economic fiscal impact report, prepared by a duly qualified expert, in compliance with the requirements set forth in the City's Comprehensive Plan and Code, if applicable.
- g. Other reasonable supporting documents to indicate intentions and/or any other items reasonably required by the development review committee to determine whether or not the proposed development is in compliance with the City's Comprehensive Plan and Code.

The provisions of this subsection are not applicable to the optional preliminary review process, but some or all of the requirements may be required by the City, on a case-by-case basis, if the City and the applicant pursue a development agreement during the optional preliminary review process.

(c) SPECIAL EXCEPTIONS:

(1) The City Commission may by special exception waive strict compliance with provisions of this code in furtherance of promoting the Town Center policies adopted by the City. In granting a special exception, the City Commission must find by substantial competent evidence that:

- a. The proposed development contributes to, promotes and encourages the improvement of the Winter Springs Town Center and catalyzes other development as envisioned in the Winter Springs Town Center regulations.
- b. The proposed development will not have an unfavorable effect on the economy of the Winter Springs Town Center and complies with the economic fiscal impact requirements set forth in the City's Comprehensive Plan and Code.
- c. The proposed development abides by all rules in this code other than those specially excepted. Special limitations apply to large footprint buildings (greater than twenty thousand (20,000) square feet); see subsection 20-324(9) for these limitations.
- d. The proposed development meets any reasonable additional conditions, restrictions or limitations deemed necessary by the city commission in order to preserve and promote the intent of the Winter Springs Town Center District Code.
- e. With respect to each waiver requested, the specific waiver shall comply with all of the following:

- (i) Is a result of special conditions and circumstances which are peculiar to the land, site plan, structure or building involved and which justify granting the waiver in the context of the overall proposed development being successful within the Town Center.
- (ii) Is the minimum waiver from the Town Center regulations necessary to make possible the reasonable use of the land, building or structure.
- (iii) Is in harmony with the general intent and purpose of the Town Center regulations.
- (iv) Will not be injurious or incompatible to the Town Center and any surrounding neighborhood or property.
- (v) Will not create a public nuisance or be detrimental to the public health, safety, and welfare relative to public services including water, sewer, surface water management, police, fire, parks and recreation, streets and traffic patterns, public transportation, marina and water ways, bicycle and pedestrian facilities.

(2) Procedure for Special Exceptions:

- a. Approval may be granted only after a minimum of two (2) discretionary reviews. The first review shall be before the planning & zoning board, at which time the planning & zoning board shall review the project and provide to the city commission an advisory recommendation regarding approval, approval with conditions, or disapproval. The second review shall be a public hearing held before the city commission and shall be held no sooner than seven (7) calendar days following the planning & zoning board hearing.
- b. Requests for special exceptions under this division shall include each exhibit required in the administration review process per subsection 20-321(b). In addition, the city commission may within reason require additional exhibits and may defer approval of the special exception application or schedule an additional public hearing or hearings to review those exhibits.
- c. Special exceptions shall not be unreasonably withheld if the requested special exception complies with the applicable criteria set forth in the Town Center regulations, but the city commission shall have authority to require that the applicant satisfy any additional conditions it deems necessary to fulfill goals of the master plan, including reasonable offsite improvements directly related and proportionate to the specific impact of the request, or further review(s) and approval by the development review committee.

- (3)** The City Commission may grant the approval of an application for special exceptions from the Code in whole or in part upon a majority vote of its members.

(d) SITE DEVELOPMENT AGREEMENT OPTION: The City may enter into a site development agreement with the user or developer of a property, relating to development of a particular parcel or tract of land, and such an agreement may address such issues as impact fee credits; a specialized or negotiated concept of design or site plan development authorized or sanctioned by this division; infrastructure service credits or public-private participation in funding, design or construction; or other incentives based upon strict compliance with requirements of this ordinance. The agreement will be mutually acceptable to all parties. Considerations for the City in deciding whether to participate in such an agreement will include compliance with the objectives and design criteria specified in this division; demonstration of a cost benefit to city and developer; consideration of development amenities provided by the developer. Such a site development agreement shall be adopted and be in conformance with the requirements of the Florida Municipal Home Rule Powers Act or Sections 163.3220 through 163.4243, Florida Statutes, as to effect, duration, public hearing requirements and other issues.

The terms and conditions set forth in a development agreement and any related final engineering plans ("Development Agreement") approved by the City Commission shall be binding on the subject property regardless of any changes to the Town Center Code. In the event that the Town Center Code is amended after a Development Agreement is approved to permit development that is inconsistent and in conflict with a previously approved Development Agreement, the terms and conditions of the Development Agreement shall prevail, unless the Development Agreement is amended. The intent of this paragraph is to prohibit a developer from relying upon an amendment to the Town Center Code enacted subsequent to approval of its development project in order to alter the terms and conditions of its project without the express written consent of the City Commission.

In the Town Center District, decorative street signs are required along roadways as part of the Decorative Street Sign and Light Program for new development including: subdivisions, commercial development and areas constructed for public use. Standards for the Town Center District follow the same guidelines as street signage that is upgraded in all other areas of the City. In addition, the City requires that decorative street lights be provided for all development within the Town Center District. During the development review process, it will be determined by the City whether or not the user or developer of a property within the Town Center may need to enter into a Neighborhood Street Sign Light Improvement Agreement (NSSLIA) as part of the respective Development Agreement.

(e) COMPREHENSIVE PLAN COMPLIANCE REQUIRED: All development of property subject to these regulations shall also be subject to the Comprehensive Plan of the City of Winter Springs, Florida, and all approvals and land development permits shall be in compliance with ~~the~~ said comprehensive plan.

SEC. 20-322. DEFINITIONS.

[The following words, terms and phrases, when used in the Town Center District Code, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:]

Accessory structure: A building or structure subordinate to the principal building and used for purposes customarily incidental to the main or principal building and located on the same lot or set of attached lots therewith.

Address Sign: A sign, generally applied to a building wall, that displays a building's address.

Apex: The highest point of a sign as measured from the point on the ground where its structure is located, or, if no sign structure is present, from the point on the ground directly below the sign itself.

Alley: A publicly or privately owned secondary way which affords access to the side or rear of abutting property.



Jesup's Reserve, Winter Springs Town Center

Appurtenances: Architectural features not used for human occupancy consisting of: spires, belfries, cupolas or dormers; silos; parapet walls, and cornices without windows; chimneys, ventilators, skylights, and antennas.

Awning: An architectural projection roofed with flexible material supported entirely from the exterior wall of a building.

Balcony: A porch connected to a building on upper stories supported by either a cantilever or brackets.

Band Sign: A sign that is attached flat on the exterior front, rear or side wall of any building or other structure. (Synonymous with wall-mounted sign, fascia sign)

Blade Sign: A sign mounted on the building Facade, projecting at a 90-degree angle. (Syn: projecting sign)

Block: An increment of land composed of an aggregate of lots, tracts and alleys circumscribed by thoroughfares.

Building frontage: The vertical side of a building which faces the primary space or street and is built to the principle plane.

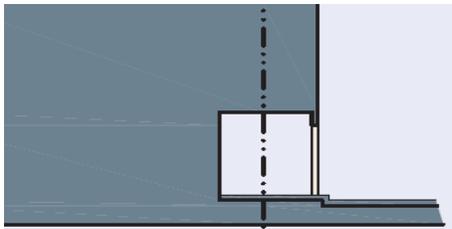
Building width: The distance from one side of a building frontage to the other. In conditions where buildings are attached, building width is the distinction between buildings which shall be expressed via a change in architectural expression, such as a vertical element running from ground to roof, a change in fenestration or style, color or texture, or a break in facade plane or roof line. These changes may be subtle or significant, but it is the intent to avoid homogenous blocks of excessively long buildings.

Channel Letters: Removable letters that fit into channels on a sign or Marquee.

Civic/Public: The Civic/Public areas are used for functions of public benefit such as parks and recreation, conservation areas that are dedicated to the public and government uses such as City Hall, Winter Springs High School, and the U.S. Post Office.

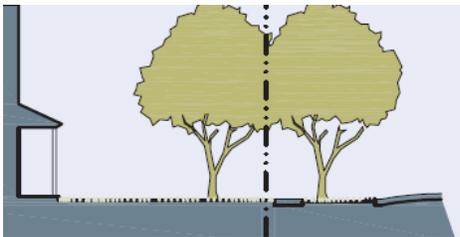
Clearance: The height above the walkway, or other surface if specified, of the bottom edge of an element.

Colonnade or arcade: A covered, open-air walkway at standard sidewalk level attached to or integral with the building frontage; structure overhead is supported architecturally by columns or arches along the sidewalk. Colonnades and Arcades provide shade and protection for pedestrians in inclement weather.



Courtesy: SmartCode, Version 9.2

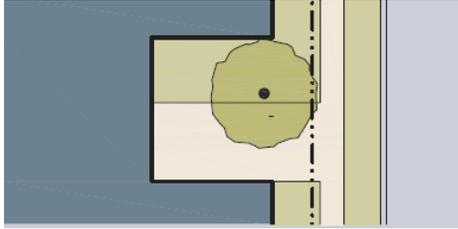
Common Yard: A planted private frontage wherein the façade is set back from the frontage line. It is visually continuous with adjacent yards.



Courtesy: SmartCode, Version 9.2

Dwelling area: The total internal useable space on all floors of a structure, not including porches, balconies, terraces, stoops, patios, or garages.

Forecourt: A private frontage wherein a portion of the façade is close to the frontage line and the central portion is set back.



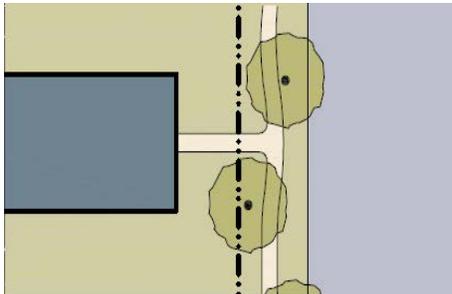
Courtesy: SmartCode, Version 9.2

Front porch: A roofed area, attached at the ground floor level or first floor level, and to the front of a building, open except for railings, and support columns.



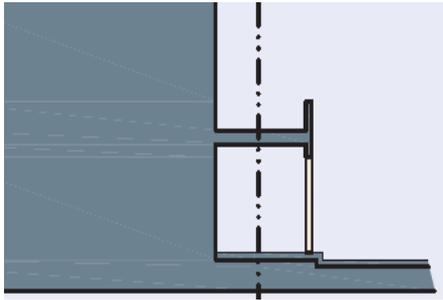
Avery Park, Winter Springs Town Center

Frontage line: A lot line bordering a public frontage. Facades facing frontage lines define the public realm and are therefore more regulated than the elevations facing other lot lines.



Courtesy: SmartCode, Version 9.2

Gallery: A private frontage conventional for retail use wherein the façade is aligned close to the frontage line with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk.



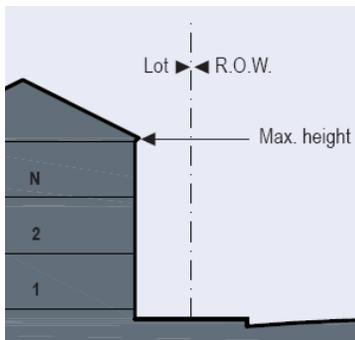
Courtesy: SmartCode, Version 9.2

Garden wall: A freestanding wall along the property line dividing private areas from streets, alleys, and or adjacent lots.



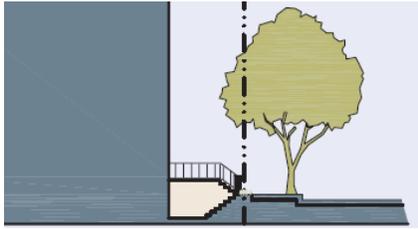
Maitland, FL

Height: The vertical distance from the lowest point on the tallest side of the structure to the top of the cornice, eave or similar architectural feature located at the lowest point of the base of the roof structure.



Courtesy: SmartCode, Version 9.2

Light court: A frontage type that is a below grade entrance or recess designed to allow light into basements.



Courtesy: SmartCode, Version 9.2

Liner building: A building constructed in front of a parking garage, cinema, supermarket etc., to conceal large expanses of blank wall area and to face the street space with a facade that has doors and windows opening onto the sidewalk (see diagrams in section 20-324, 8d). Parking garages and their Liners may be built at different times.

Lot: A single building plot; the smallest legal increment of land which may be bought and sold.

Lot frontage: The property line adjacent to the frontage street.

Marquee: A permanently roofed architectural projection the sides of which are vertical and are intended for the display of signs; which provides protection against the weather for the pedestrian; and which is supported entirely from an exterior wall of a building.

Message Board: A sign with changeable text that is non-electronic in nature. Non-electronic Message Boards typically consist of letters attached to a surface within a transparent display case.

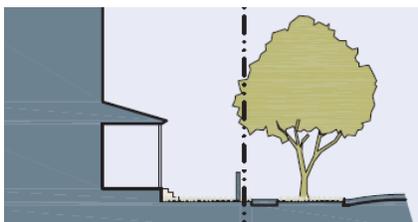
Mixed Use: Refers to a development that includes two or more physically integrated uses on one site or within one structure. This can mean some combination of residential, retail, office, industrial, institutional, or other land uses.

Nameplate: A sign consisting of either a panel or individual letters applied to a building, listing the names of businesses or building tenants.

Open Space: Land that is intended to remain undeveloped; may be utilized for civic space.

Outdoor Display Case: A sign consisting of a lockable metal or wood framed cabinet with a transparent window or windows, mounted onto a building wall or freestanding support. It allows the contents, such as menus or maps, to be maintained and kept current.

Porch: A roofed area, attached at the first floor level to the front of a building, open except for railings and support columns. Porches may be multi-story.



Courtesy: SmartCode, Version 9.2

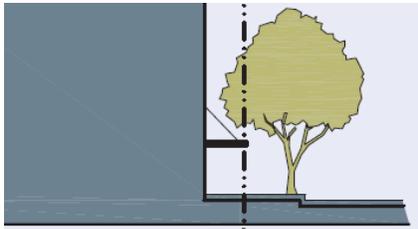
Primary Space or Street: The space or street that a building fronts. At squares and street intersections the space or street highest in the hierarchy is the primary street.

Principle plane: The front of the primary mass of the building, typically the first load-bearing wall. Porches, stoops, and terraces are common architectural details, and do not constitute the “principle plane” of a building.

Shed Awning: An awning with two short sides in addition to the main canopy.

Shingle Sign: A small Blade Sign usually mounted on the ground floor level, displaying a building's professional tenant directory.

Shopfront: A private frontage conventional for retail use, with substantial glazing and an awning, wherein the façade is aligned close to the frontage line with the building entrance at sidewalk grade.



Courtesy: SmartCode, Version 9.2

Sidewalk Sign: A movable freestanding sign that is typically double-sided, placed at the entrance to a business to attract pedestrians. (Variation: sandwich board, A-frame sign.)

Signband: The horizontal signage area on a Valance or Marquee.

Stoop: A small platform and/or entrance stairway at a house door, commonly covered by a secondary roof or awning.

Storefront: Building frontage for the ground floor usually associated with retail uses.



Winter Park, FL

Structured parking: Layers of parking stacked vertically.

Terrace: A level paved area or platform next to a building; a patio or veranda. Terraces are suitable for conversion to outdoor cafes.



Courtesy: SmartCode, Version 9.2

Transect: A cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in this Code is divided into six (6) Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land and Urbanism.

Transect Zone (T-zone): One of several areas on a Zoning Map regulated by this Code. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended habitat are integrated, including those of the private lot and building and public frontage.

T1 (Natural Zone): This zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.

T2 (Rural Zone): This zone consists of sparsely settled lands in an open or cultivated state. These can include agricultural lands. Typical buildings are farmhouses, agricultural buildings, cabins, and villas.

T3 (Suburban Zone): This zone consists of the least dense residential areas, adjacent to higher density zones within the Town Center that include some mixed-use. Home Occupations and Accessory Dwelling Units (ADU) are allowed. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions. This zone is intended to provide a transition to and incorporation with existing lower density residential areas that are adjacent to the Town Center district.

T4 (General Urban Zone): This zone consists of mixed-use but primarily residential urban fabric. This Zone may have a wide range of building types, both residential and commercial in nature. Setbacks and landscaping are variable. This zone is typically residential but is more urban and compact than the suburban zone, and is located closer to core of the Town Center. Corner stores may also be found in this zone.

T5 (Urban Center Zone): The T5 Urban Center Zone comprises the core of the Town Center and is synonymous with the City's Urban Central Business District. It shall consist of a higher intensity mix of uses that include retail, offices, and residential. T5 areas typically have fairly small blocks with wide sidewalks, regularly-spaced tree planting, and buildings set close to the street.

Valance: The portion of an awning that hangs perpendicular to the Sidewalk.

Window Sign: A sign placed or painted on the interior of a Shopfront window or the window of a business door.

Yard Sign: A permanent freestanding sign in the Private Frontage, including a supporting post or posts.

SEC. 20-323. PERMITTED USES.

	T1	T2	T3	T4	T5	C/P
Administrative public buildings				P	P	P
Adult congregate living facility			SE	SE	SE	
Advertising agencies			SE	P	P	
Alcoholic beverage sales (package)				P	P	
Alcoholic beverage on-premises consumption				P	P	
Alterations and tailoring			P	P	P	
Amusement enterprises, private commercial				SE	P	
Antique and gift shop			P	P	P	
Appliances, sales and service				P	P	
Artists' studios			P	P	P	
Automobile Repair Shops (routine service)					SE	
Automotive accessories sales				SE	P	
Bakery, wholesale and retail			P	P	P	
Bathroom accessories			P	P	P	
Bed and breakfast inn			P	P	P	
Bicycles, sales and service			P	P	P	
Bookkeepers			P	P	P	
Bookstores, stationery, newsstands				P	P	
Bowling alleys				SE	SE	SE
Bus terminal (exclusive of bus stops)					SE	
Bridal shops				P	P	
Butcher shop, retail only			P	P	P	
Carpets, rugs and linoleum				P	P	
Car Wash				SE	SE	
Churches (with or without educational and recreational buildings and facilities)		P	P	P	P	P
Cleaners (Retail)			P	P	P	
Coin dealers			P	P	P	
Computers, hardware and software sales and service			P	P	P	
Confectionery and ice cream stores			P	P	P	
Convention center				SE	P	P
Corner store or neighborhood convenience store without gas pumps			P	P	P	
Corner store or neighborhood convenience store with gas pumps					SE	
Dance and music studios			P	P	P	
Day care nurseries, kindergartens and day care			P	P	P	
Drug and sundry stores				P	P	
Dry cleaner				P	P	
Equestrian facilities	SE	SE				SE

P – Permitted by right

SE - Special Exception required

	T1	T2	T3	T4	T5	C/P
Employment agencies				P	P	
Financial institutions, banks, savings and loan				SE	P	
Florist and gift shops			P	P	P	
Furniture, retail, new and used				P	P	
Gas Stations				SE	SE	
Government service facilities						
Grocers, retail and wholesale			SE	P	P	
Gun shop (retail, no gun range)			SE	P	P	
Hair, nail and tanning salons			P	P	P	
Hardware stores				P	P	
Health food			P	P	P	
Hobby and craft shops			P	P	P	
Home occupations			P	P	P	
Hospitals and nursing homes				SE	SE	
Hotel					P	
Inn				P	P	
Insurance			P	P	P	
Interior decorating and draperies			P	P	P	
Jewelry stores			P	P	P	
Launderettes and Laundromats				SE	SE	
Libraries				P	P	P
Loan companies				P	P	
Locksmiths			P	P	P	
Luggage shops			P	P	P	
Manufacturing and assembly of scientific and optical precision instruments			SE	P		
Medical clinics and laboratories				P	P	
Municipal buildings			P	P	P	P
Museums and/or cultural institutions				SE	P	P
Nurseries, plants, trees, etc., retail and wholesale	SE	SE	SE	SE		SE
Offices			P	P	P	P
Paint store				P	P	
Parking garages				SE	P	P
Parks (public) and public recreation areas and facilities	P					P
Pet shops and grooming			P	P	P	
Photographic studios			P	P	P	
Physical fitness and health clubs				P	P	
Post office				P	P	P
Printers, commercial					SE	
Private clubs and lodges			SE	P	P	
Public restrooms						P
Public utilities and service structures	SE	SE	SE	SE	SE	SE

P – Permitted by right

SE - Special Exception required

	T1	T2	T3	T4	T5	C/P
Quick printers				P	P	
Radio and TV broadcasting studios, excluding towers				P	P	
Radio and TV sales and service				P	P	
Reception facilities (meeting rooms, etc.)			P	P	P	
Rental stores			P	P	P	
Retirement homes, including independent living through assisted living		SE	SE	SE		
Residential, single family (attached)			P	P	P	
Residential, single family (detached)			P	P	SE	
Residential, multifamily			P	P	P	
Restaurants			P	P	P	
Schools, private and parochial				SE	SE	SE
Schools, service and vocational schools (such as cosmetology, medical and dental assistant's training)				SE	P	P
Shoe repair shops			P	P	P	
Sidewalk cafes			P	P	P	
Skating rinks				SE	SE	SE
Snack shops			P	P	P	
Sporting goods, retail			P	P	P	
Stadiums and arenas					SE	SE
Swimming pools; sales, service and supplies			SE	SE	SE	
Tailoring shops			P	P	P	
Taxidermists			SE	SE	SE	
Telephone business office and exchanges				P	P	
Theaters, not drive-ins				SE	P	P
Title companies			SE	P	P	
Tobacco shops				P	P	
Town Center marketing and sales center			P	P	P	P
Toy stores			P	P	P	
Trail heads	P	P	P	P	P	P
Travel agencies			P	P	P	
Veterinary clinics (no overnight boarding)				SE	SE	
Wearing apparel stores			P	P	P	
Any other similar retail store or business enterprise not listed, that in the judgement of the development review committee is not specifically limited to other zoning districts within the city and is consistent with those included above, and further, that will be in harmony with the spirit of the Winter Springs Town Center Master Plan.			P	P	P	P

P – Permitted by right

SE - Special Exception required



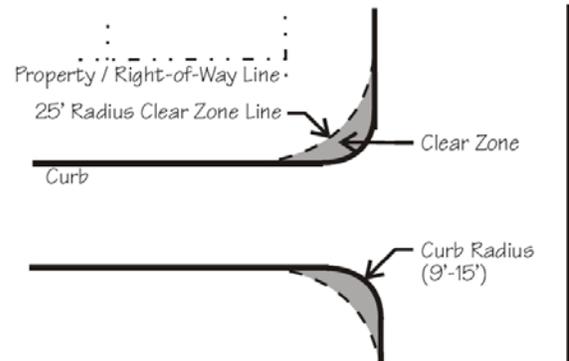
Main Street (Tuscawilla Road); Winter Springs Town Center

SEC. 20-324. GENERAL PROVISIONS.

The following general provisions apply to all street types.

1. CORNER RADII AND CLEAR ZONES:

Corner curb radii shall be between nine (9) feet and fifteen (15) feet, with the following permitted exceptions: 1) where a curb radius must be larger in order to meet the minimum requirements to obtain a required permit from another agency (FDOT, Seminole County, etc.); and 2) where the Fire Marshal has determined that a larger curb radius must be provided. Fairly tight turning radii shorten pedestrian crossings and inhibit reckless drivers from turning corners at high speeds. To allow for emergency vehicles (e.g. fire trucks) to turn corners, a twenty-five-foot radius clear zone shall be established free of all vertical obstructions including but not limited to telephone poles, sign poles, fire hydrants, electrical boxes, or newspaper boxes.



2. ALLEYS:

Alleys are required in the T4 and T5 zones of the Town Center to minimize curb cuts and to provide access to parking and service areas behind buildings. Alleys are not required in the T3 zone in cases when lot widths are greater than 50-feet. In these cases, a front-loaded garage can be utilized, provided it is setback at least 20-feet behind the principle plane of the primary building. Alley locations and dimensions are not fixed but shall be designed to accommodate the alley's purpose. Additional curb cuts shall be added only with the permission of the development review committee. Alleys may be incorporated into parking lots as drive aisles and fire lanes. In general alleys are intended to accommodate services including but not limited to parking, trash pickup, loading docks, and drive-throughs .

3. EXCEPTIONS FROM BUILD-TO LINES (FRONT SETBACKS):

Exceptions from build-to lines as noted in each transect zone may be granted by the development review committee for avoiding trees with diameter breast height (dbh) greater than eight (8) inches.

On corner sites (within fifty (50) feet of the corner) with build-to lines set back from the property line, building frontage may be positioned forward of the build-to line up to the property line, provided it does not encroach upon the clear zone.

4. DIVERSITY OF BUILDING WIDTHS:

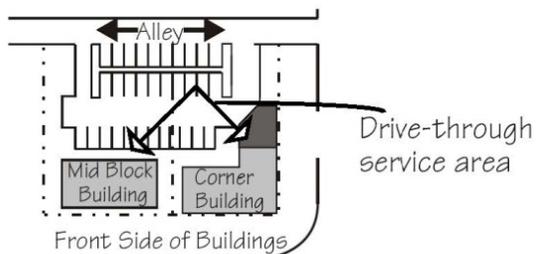
No more than three (3) detached residential buildings twenty (20) feet or less in width are permitted within any two hundred (200) feet of frontage.

5. ACCESSORY STRUCTURES:

Accessory structures are permitted and may contain parking, accessory dwelling units, home occupation uses, storage space, and trash receptacles. Home occupation uses are restricted to owner plus one (1) employee, shall not include noxious or disruptive functions, and may not disrupt parking for neighboring residents. Accessory structures shall not be greater than six hundred twenty-five (625) square feet in footprint and shall not exceed two (2) stories in height.

6. DRIVE-THROUGHS:

Drive-through service windows are only permitted in the rear in and alley accessed locations provided they do not substantially disrupt pedestrian activity or surrounding uses.



Baldwin Park, Orlando, FL



7. CIVIC SITES:

Civic buildings and sites contain uses of special public importance. Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities, and places of assembly. Civic buildings do not include retail buildings, residential buildings, or privately owned office buildings. In order to provide greater flexibility to create a special architectural statement, civic buildings are not subject to build-to line requirements or building frontage requirements. Civic sites include Central Winds Park and Wetlands Park. The design of civic buildings and sites shall be subject to review and approval by the development review committee and are permitted in any transect zone within the Town Center but primarily in the "Civic/Public" Zone.

8. PARKING:

a. PARKING REQUIREMENTS. The intent of these parking regulations is to encourage a balance between compact pedestrian oriented development and necessary car storage. The goal is to construct neither more nor less parking than is needed.

There shall be no minimum parking requirement in the Town Center. The applicant shall provide a parking analysis justifying the proposed parking solution. The level of detail required for the parking analysis shall be determined in consultation with the DRC early-on in the development process. In general, the parking analysis shall include a detailed analysis and calculation of the normal and peak parking demands for a development. The usage of standard parking generation rates is normally not acceptable for this purpose. The best source of data is field parking counts from similar developments in the area. Factors to consider when calculating the overall parking demand include, but are not limited to:

- Size and usage of the development / number of units
- Availability and proximity of mass transit
- Demographics of the expected user group
- Availability and expected use of bicycle and pedestrian facilities
- Surrounding land use

Factors to consider when determining the number of parking spaces to be provided include, but are not limited to:

- Number of parking spaces to be reserved and/or restricted
- Availability and proximity of overflow parking areas
- Mix of the type of parking spaces available, including private garages, private driveways, public surface parking, public on-street parking, metered parking, etc.
- Management strategies for the usage of visitor/overflow parking spaces
- Opportunity to share parking with surrounding properties

Enclosed garages in individual residential units are often not used to their full parking capacity. In recognition of this, the number of parking spaces considered to be available in enclosed garages shall be calculated at 50% of the actual parking capacity. For example, a two-car garage would be considered to have 1.0 parking spaces, and a one-car garage would have 0.5 parking spaces.

Minimum parking space dimensions for head-in or diagonal parking shall be 9' × 18' with eleven-foot drive lanes (twenty-two (22) feet for two-way traffic) and parallel parking spaces shall be 8' × 20' minimum with ten-foot drive lanes (twenty (20) feet for two-way traffic).

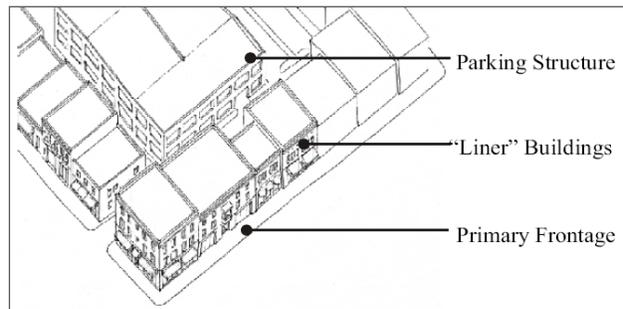
Parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act and Florida Accessibility Code for Building Construction.

b. ON-STREET PARKING. The selection of diagonal or parallel parking along any section of road shall be determined in consultation with DRC. In the event that the DRC approves diagonal instead of parallel parking, dimensions should be pursuant to subsection 20-325(c).

c. OFF-STREET SURFACE PARKING LOT PLACEMENT. Off-street surface parking lots shall be set back a minimum of fifty (50) feet from the property line along the main street to accommodate liner buildings. The DRC shall have discretion to make this requirement applicable elsewhere on prominent frontages, such as along key pedestrian connections, within significant vistas and within important public spaces. Outbuildings serving as garages facing alleys shall be permitted within this setback. This dimension may be reduced to thirty-five (35) feet in cases where liner buildings are being constructed concurrently with an off-street surface parking lot.

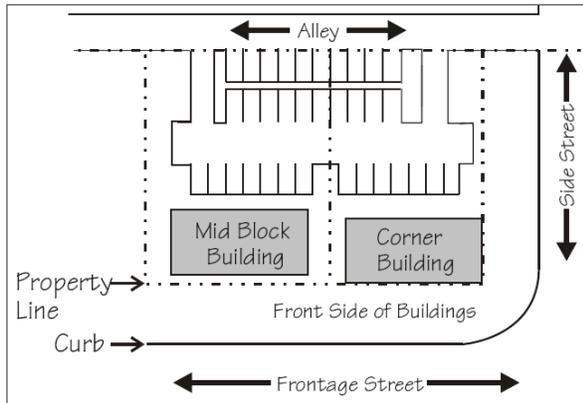
d. STRUCTURED PARKING LOT PLACEMENT. Parking structures shall be set back a minimum of fifty (50) feet from the property lines of all adjacent streets to reserve room for liner buildings between parking structures or other structures with blank walls and the lot frontage. This distance will vary dependent upon the architecture of the liner building. The liner building shall be no less than two (2) stories in height or a height sufficient to buffer the entire height of the parking structure from the right-of-way. Liner buildings may be detached from or attached to parking structures. The setback dimension may be reduced in cases where liner buildings are being constructed concurrently with a structured parking facility, but in no case shall this dimension be less than thirty-five (35) feet.

Structured Parking and Liner Buildings, Miami, FL



e. ACCESS TO OFF-STREET PARKING.

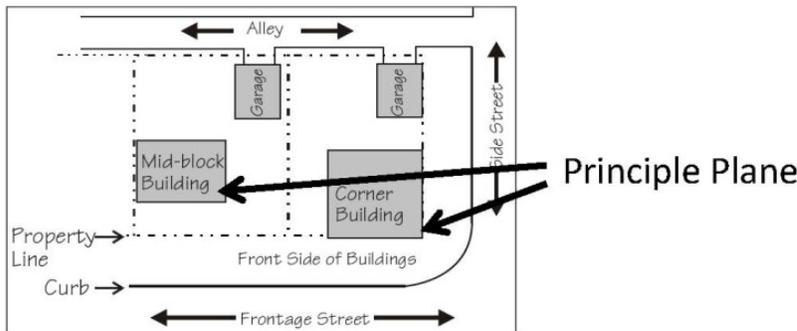
Alleys shall be the primary source of access to off-street parking. Parking along alleys may be head-in, diagonal or parallel.



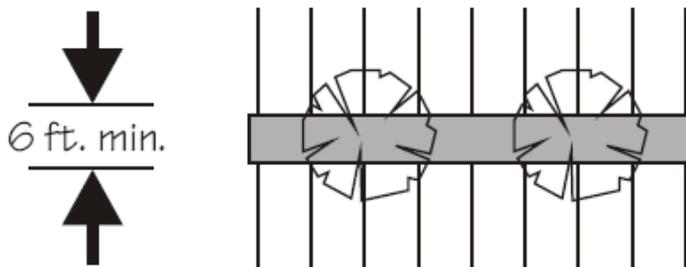
Alleys may be incorporated into parking lots as standard drive aisles. Access to all properties adjacent to the alley shall be maintained. Access between parking lots across property lines is also encouraged. Corner lots that have both rear and side access shall access parking through the rear.

Circular drives are prohibited except for civic buildings.

In the T4 and T5 districts, garage door(s) shall be positioned no closer to streets, squares or parks than twenty (20) feet behind the principal plane of the building frontage. Garage doors facing streets, squares or parks shall not exceed ten (10) feet in width. Where space permits, garage doors shall face the side or the rear, not the front.



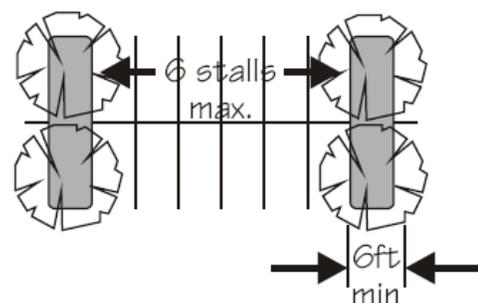
f. PARKING LOT LANDSCAPING REQUIREMENTS:



Landscape strips of at least six feet in width shall be provided between parking isles of either head-in or diagonal parking.

Tree spacing in parking lots shall be determined by the city arborist based upon tree species and location. The objective is to create as continuous a shade canopy as possible.

A diversity of tree species across the Town Center is encouraged. To minimize water consumption, the use of low-water vegetative ground cover other than turf is encouraged.



In lieu of landscape strips, landscape islands can be provided. No more than six (6) consecutive parking stalls are permitted without a landscape island of at least six (6) feet in width and extending the entire length of the parking stall. A minimum of one (1) tree shall be planted in each landscape island.

9. LARGE FOOTPRINT BUILDINGS:

Buildings with a footprint greater than twenty thousand (20,000) square feet may be built within the Town Center District by special exception only. In these cases, the maximum lot width as noted in each applicable transect zone will be waived. Such buildings must abide by all rules in this division with the following special limitations:



Undesirable

Undesirable large Footprint Buildings have blank facades and sit behind a field of parking.



Desirable

Desirable Large Footprint Buildings are wrapped in a liner of smaller buildings with doors and windows facing the street.

a. To encourage use by pedestrians and decrease the need for solely auto-oriented patronage, large-Footprint buildings must reinforce the urban character of the Town Center and shall therefore continue a connected system of walkable street frontages.

b. Loading docks, service areas and trash disposal facilities shall not face streets, parks, squares or significant pedestrian spaces.

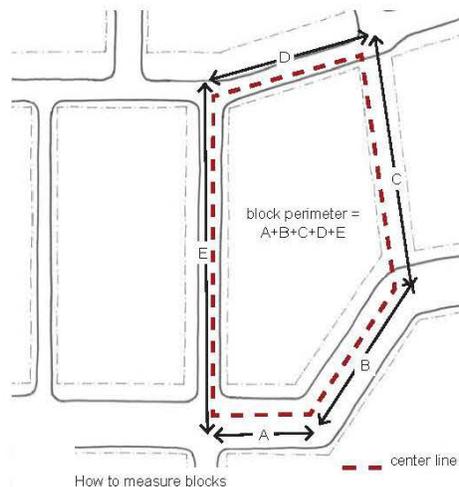
10. ADDITIONAL PROHIBITIONS: The following are prohibited where visible from parks, squares and primary streets:

- a. Utility boxes and machinery including but not limited to: backflow devices, electric meters and air conditioning units.

11. MAXIMUM BLOCK SIZE: A block is noted by this Code as an increment of land composed of an aggregate of lots, tracts and alleys circumscribed by thoroughfares. The maximum block size permitted by this Code is a perimeter of 1,600 feet, with no individual block face being more than 600-feet in length. Special Exceptions may be approved by the DRC on a case-by-case basis from this provision where circumstances including structured parking among other things are constructed in the block.

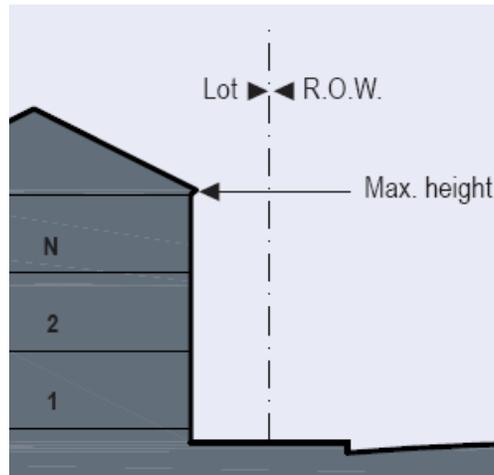
Fronts and Backs Orientation of Buildings and Lots Relative to the Frontage Line:

- 1) Buildings and lots have fronts, sides, and rears.
- 2) Thoroughfares, with the exception of rear alleys and rear lanes, should be faced with the fronts and sides of buildings and lots.
- 3) Rear alleys, rear lanes and mid-block parking areas should be faced with the backs of sides of buildings and lots.



Block measurements are taken along the center lines between right-of-ways regardless of roadway pavement locations.

12. BUILDING HEIGHT: Cupolas, spires, domes, pinnacles, chimneys, penthouses and similar architectural features may be erected to a height greater than any limit prescribed in this Code provided, each feature does not exceed 600 square feet in area and does not extend more than 30-feet above the designated height limit for each transect zone. Building height is measured as the vertical distance from the lowest point on the tallest side of the structure to the top of the cornice, eave or similar architectural feature.



Courtesy: SmartCode, Version 9.2

SEC. 20-325. TRANSECT STANDARDS

(a) CITY OF WINTER SPRINGS TOWN CENTER MASTER PLAN



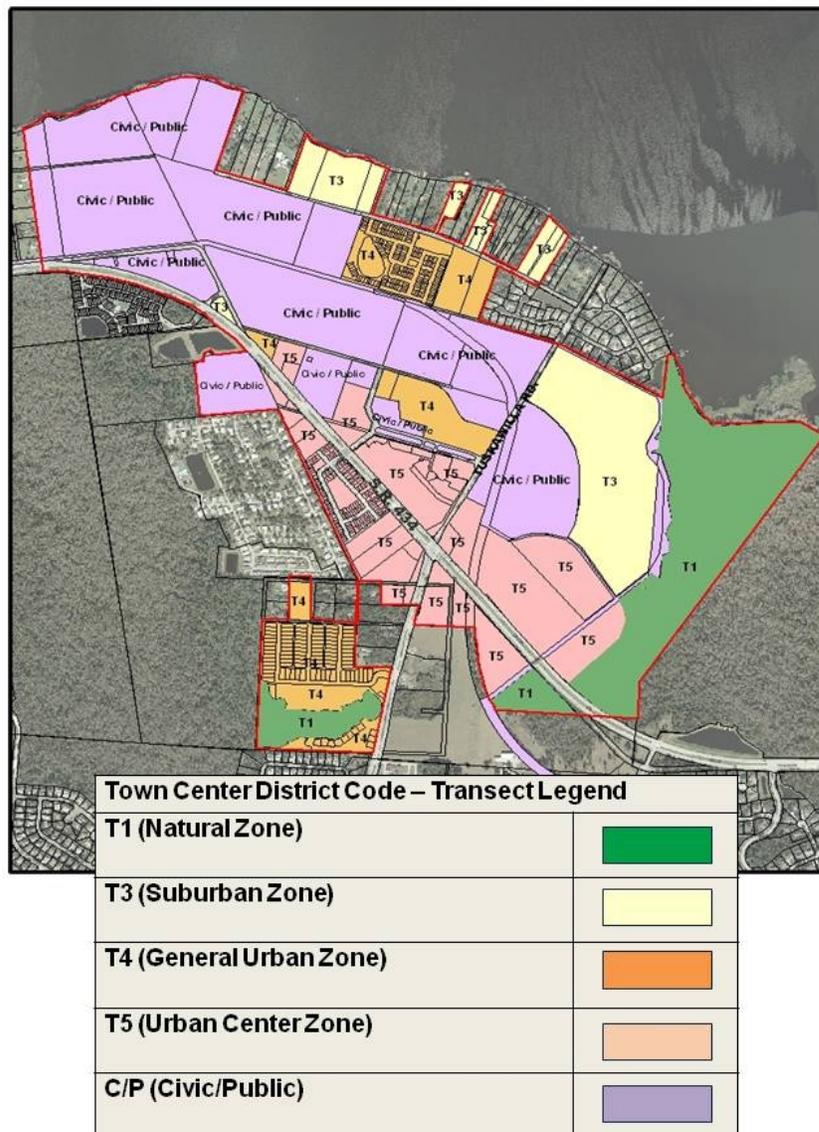
(b) Transect Zone Design Standards

T3 (Suburban Zone)

1. Description:

This zone consists of the least dense residential areas, adjacent to higher density zones within the Town Center that include some mixed-use. Home Occupations and Accessory Dwelling Units (ADU) are allowed. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions. This zone is intended to provide a transition to and incorporation with existing lower density residential areas that are adjacent to the Town Center district.

Town Center District Transect Map



2. Dimensional Requirements:

Applications are subject to standard administrative provisions in Section 20-321 of this Code.

Lot Design Guidelines	
Lot Orientation	
<i>Lot Width</i>	30 ft. min, 100 ft. max
<i>Lot Depth</i>	50 ft. min, 175 ft. max
<i>Lot Coverage (building footprint)</i>	60% max, or 4,000 sf. max footprint
Principle Building Setbacks (from property line)	
<i>Front</i>	10 ft. min (from front property line)
<i>Rear</i>	3 ft. min (from rear property line) 6ft. max.
<i>Side</i>	0 ft. or 3 ft. min. (from side property line)
<i>Frontage Buildout *</i>	40 % minimum at setback
Accessory Building Setbacks	
<i>Front</i>	20 ft. min + building setback (from front property line)
<i>Rear</i>	3 ft. min (from rear property line)
<i>Side</i>	0 ft. or 3 ft. min (from side property line)
Building Height	
<i>Principle</i>	3 stories max – 1 story minimum **
<i>Accessory</i>	2 stories maximum
Private Frontages	
<i>Common Yard</i>	Permitted
<i>Porch & Fence</i>	Permitted
<i>Terrace/Light Court</i>	Prohibited
<i>Forecourt</i>	Prohibited
<i>Stoop</i>	Prohibited
<i>Shopfront, Awning & Balcony</i>	Permitted
<i>Gallery</i>	Prohibited
<i>Arcade/Colonade</i>	Permitted

*Irregularly shaped lots may vary from the frontage buildout standard upon recommendation of the Development Review Committee (DRC).

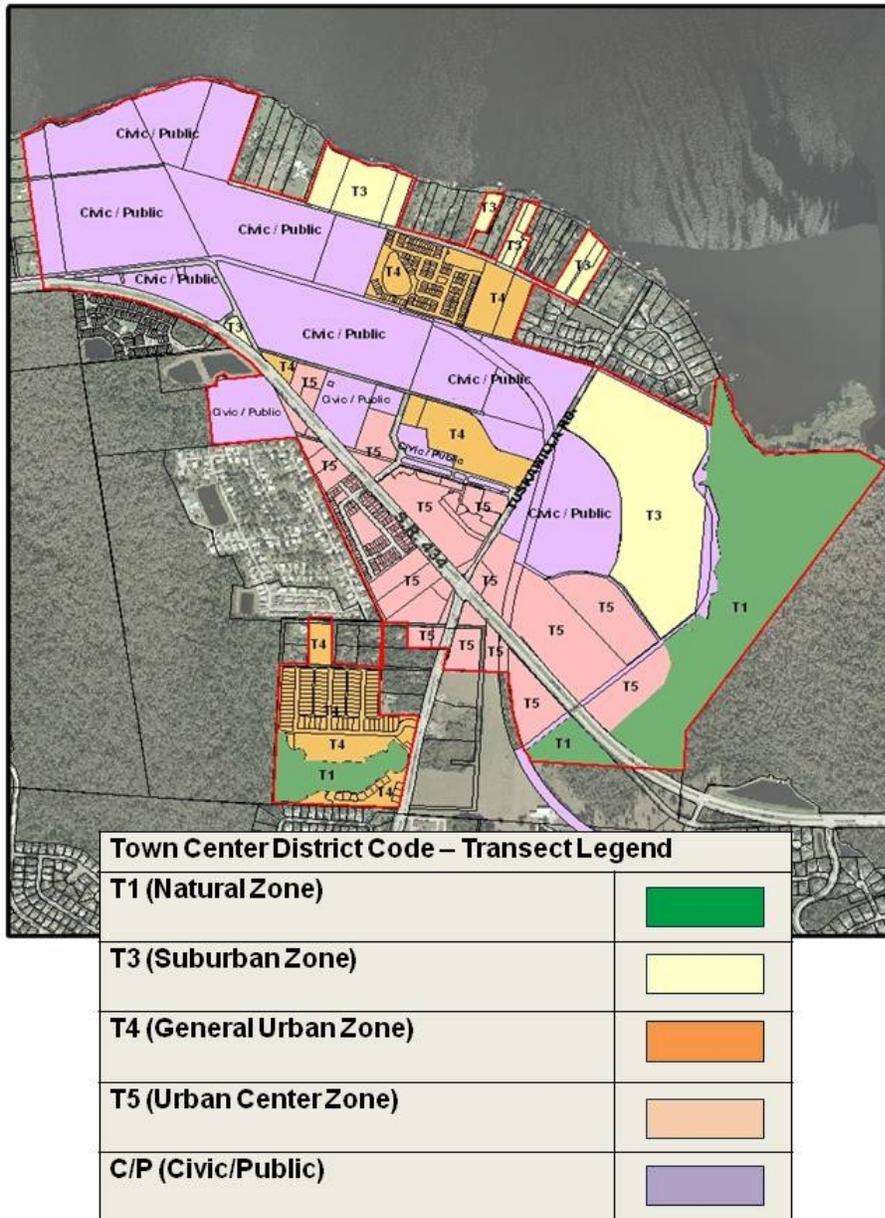
**There shall be a 1-foot minimum raised first floor height above the sidewalk for residential uses.

T4 (General Urban Zone)

1. Description:

Consists of mixed-use but primarily residential urban fabric. This Zone may have a wide range of building types, both residential and commercial in nature. Setbacks and landscaping are variable. This zone is typically residential but is more urban and compact than the suburban zone, and is located closer to core of the Town Center. Corner stores may also be found in this zone.

Town Center District Transect Map



2. Dimensional Requirements:

Applications are subject to standard administrative provisions in Section 20-321 of this Code.

Lot Design Guidelines	
Lot Orientation	
<i>Lot Width</i>	18 ft. min, 90 ft. max
<i>Lot Depth</i>	50 ft. min, 150 ft. max
<i>Lot Coverage</i>	70% max
Principle Building Setbacks (from property line)	
<i>Front</i>	4 ft. min. – 18ft. max (from front property line)
<i>Rear</i>	3 ft. min. (from rear property line)
<i>Side</i>	0 ft. or 3 ft. min. (from side property line)
<i>Frontage Buildout (building footprint)</i>	60 % minimum at setback
Accessory Building Setbacks	
<i>Front</i>	20 ft. min + building setback (from front property line)
<i>Rear</i>	3 ft. min (from rear property line)
<i>Side</i>	0 ft or 3 ft. min (from side property line)*
Building Height	
<i>Principle</i>	2 stories min, 4 max.**
<i>Accessory</i>	2 stories max.
Private Frontages	
<i>Common Yard</i>	Permitted
<i>Porch & Fence</i>	Permitted
<i>Terrace/Light Court</i>	Permitted
<i>Forecourt</i>	Permitted
<i>Stoop</i>	Permitted
<i>Shopfront, Awning & Balcony</i>	Permitted
<i>Gallery</i>	Permitted
<i>Arcade/Colonade</i>	Permitted

*Side setbacks may be zero feet for Large Mixed-Use Building Lot, Mixed-Use Building Lot, Small Mixed-Use Building Lot, Townhome Lot, and Apartment Building Lot. All other lot types shall maintain a 3-foot side setback.

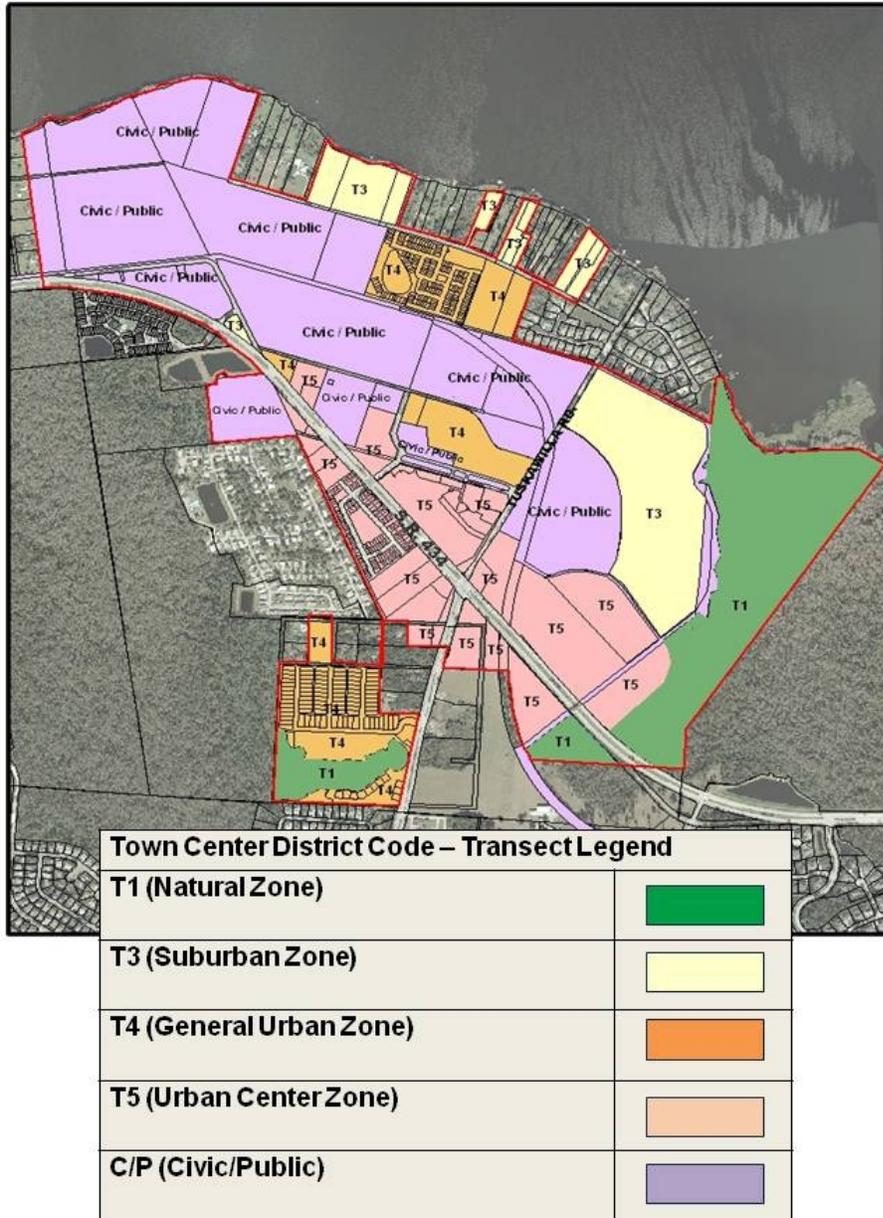
**First floor height (finished floor) shall be a minimum of 24-inches above sidewalk grade for residential uses.

T5 (Urban Center Zone)

1. Description:

The T5 Urban Center Zone comprises the core of the Town Center and is synonymous with the City's Urban Central Business District. It shall consist of a higher intensity mix of uses that include retail, offices, and residential. T5 areas typically have fairly small blocks with wide sidewalks, regularly-spaced tree planting, and buildings set close to the street.

Town Center District Transect Map



2. Dimensional Requirements:

Applications are subject to standard administrative provisions in Section 20-321 of this Code.

Lot Design Guidelines	
Lot Orientation	
<i>Lot Width</i>	18 ft. min., 180 ft.max.
<i>Lot Depth</i>	30 ft. min., 160 ft. max.
<i>Lot Coverage</i>	100% max.
Principle Building Setbacks (from property line)	
<i>Front / principle plane</i>	0ft. – 8ft. max (from front property line)
<i>Rear</i>	3 ft. (from rear property line)
<i>Side</i>	0 ft. min, 24 ft. max. (from side property line)
<i>Frontage Buildout</i>	80% min. (at front setback)
Accessory Building Setbacks	
<i>Front</i>	20 ft. min. + building setback (from front property line)
<i>Rear</i>	3 ft. min. (from rear property line).
<i>Side</i>	0 ft. min. (from side property line)
Building Height	
<i>Principle</i>	2 stories min, 5 stories max. *
<i>Accessory</i>	2 stories min
Private Frontages	
<i>Common Yard</i>	Prohibited
<i>Porch & Fence</i>	Permitted
<i>Terrace/Light Court</i>	Permitted
<i>Forecourt</i>	Permitted
<i>Stoop</i>	Permitted
<i>Shopfront, Awning & Balcony</i>	Permitted
<i>Gallery/ Arcade/ Colonnade</i>	Permitted

*First floor height (finished floor) shall be a minimum of 24-inches above sidewalk grade for residential uses.

Civic/Public

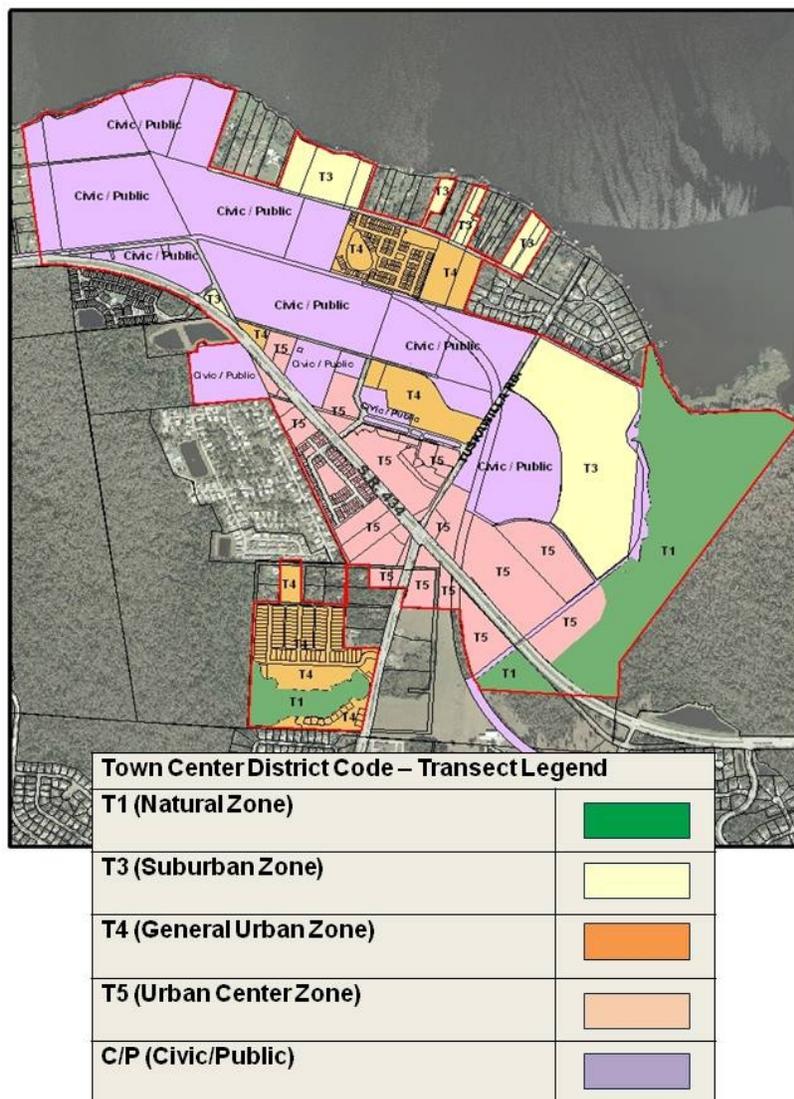
1. Description:

The Civic/Public areas are used for functions of public benefit such as parks and recreation, conservation areas that are dedicated to the public and government uses such as City Hall, Winter Springs High School, and the U.S. Post Office.

2. Dimensional Requirements

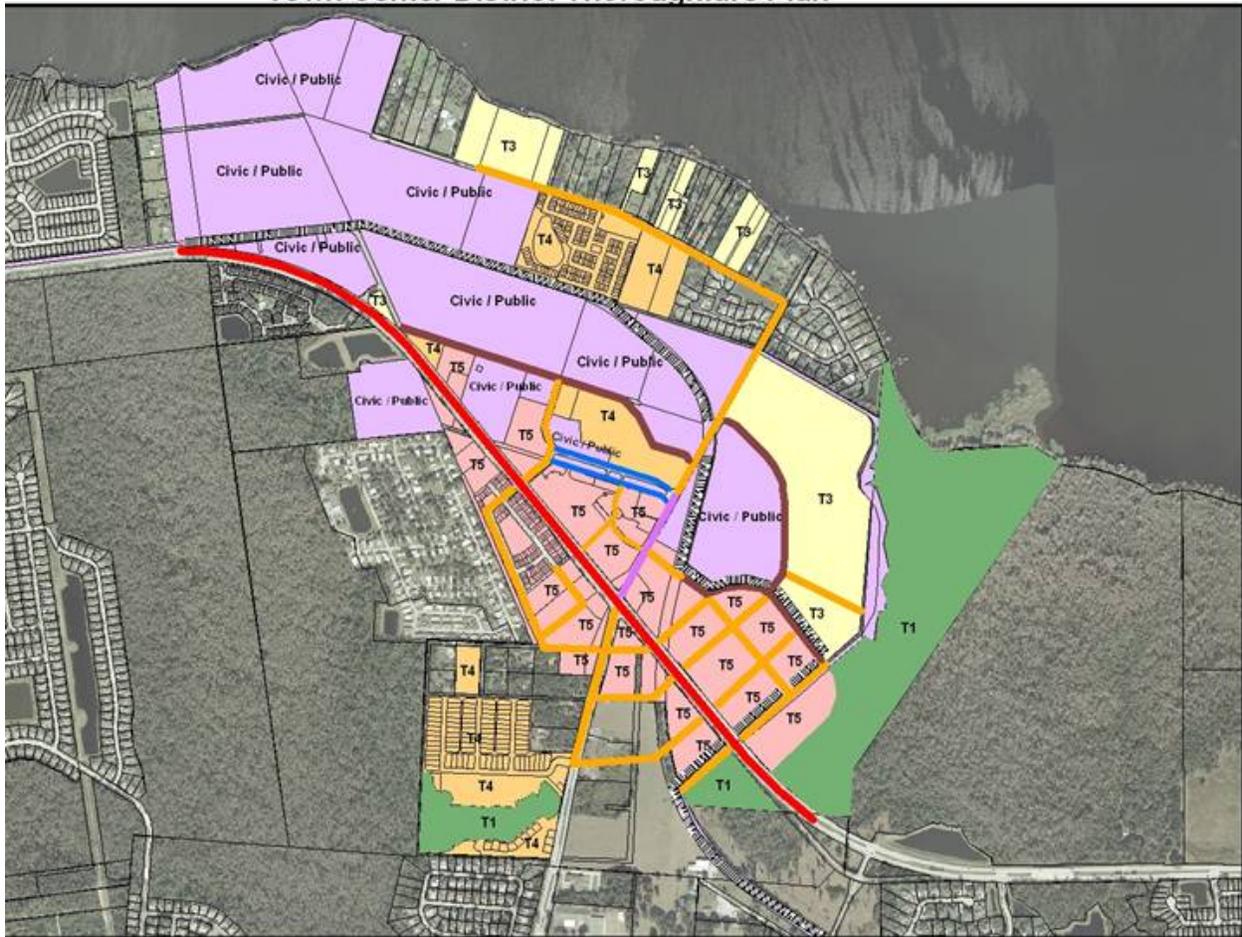
Design standards in all Civic/Public areas shall be evaluated by the City Community Development Department for recommendation to the Development Review Committee (DRC).

Town Center District Transect Map



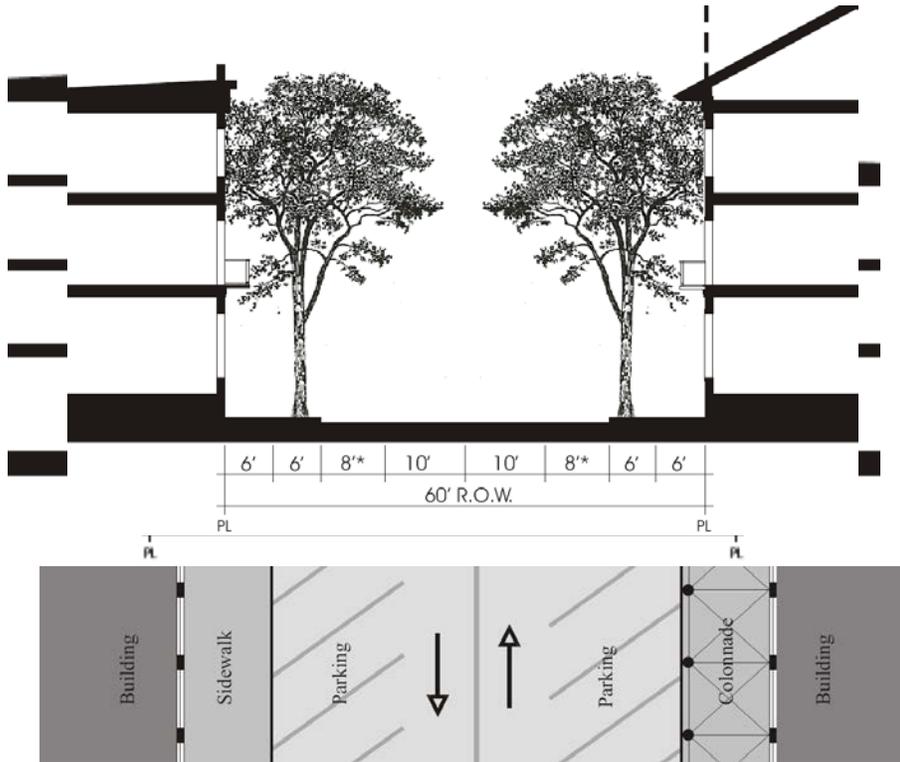
(c) Thoroughfare Standards

Town Center District Thoroughfare Plan

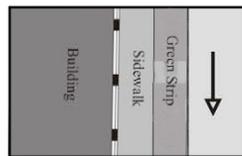
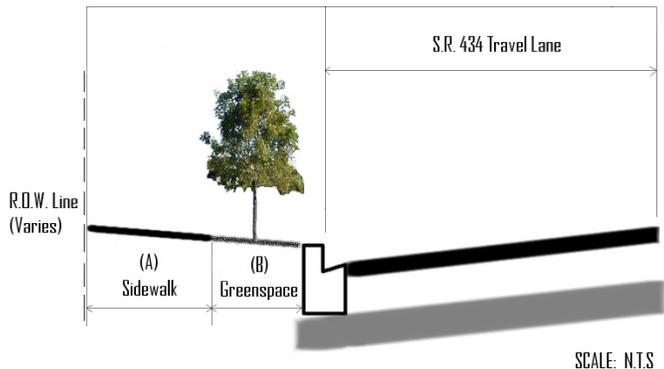


Street Type	Transects				
	T-1	T-3	T-4	T-5	C/P
Main Street	N/A	N/A	P	P	N/A
SR 434 Street Edge	N/A	P	P	P	P
Urban Boulevard	N/A	P	P	P	N/A
Town Center Street	N/A	P	P	P	P
Edge Drive	N/A	P	P	P	N/A
Neighborhood Street	*	P	P	N/A	P
Neighborhood Lane	*	P	P	N/A	P
Trail Street	*	O	O	O	O
Alleys	*	P	P	P	N/A
Cross Seminole Trail	P	P	P	P	P
Legend					
P-Permitted					
N/A - Not Applicable					
O- Optional as Approved by DRC & City Commission					
* Optional for Future Development					

- 1) **Main Street** (Alternate parallel parking with a wider sidewalk may be provided depending upon right-of-way width).



- 2) **SR 434 Street Edge** (Each are acceptable options. Proposed parking configurations will be evaluated and can consist of angled, parallel, or back-in angle parking)

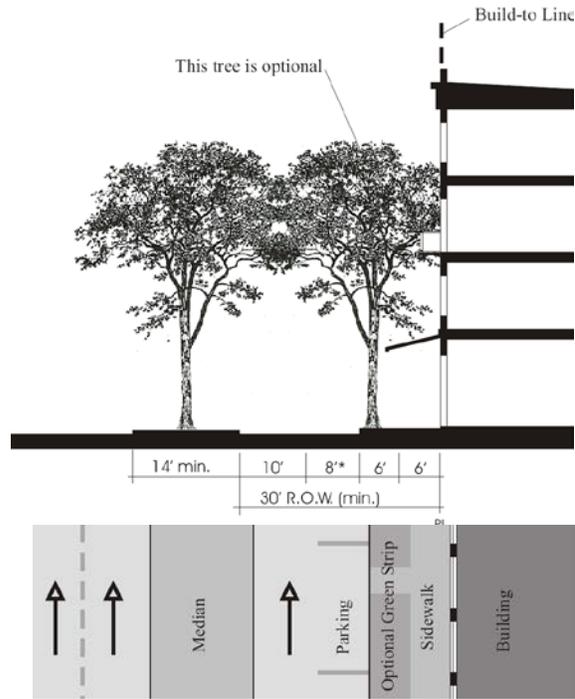


Detail Elevations:

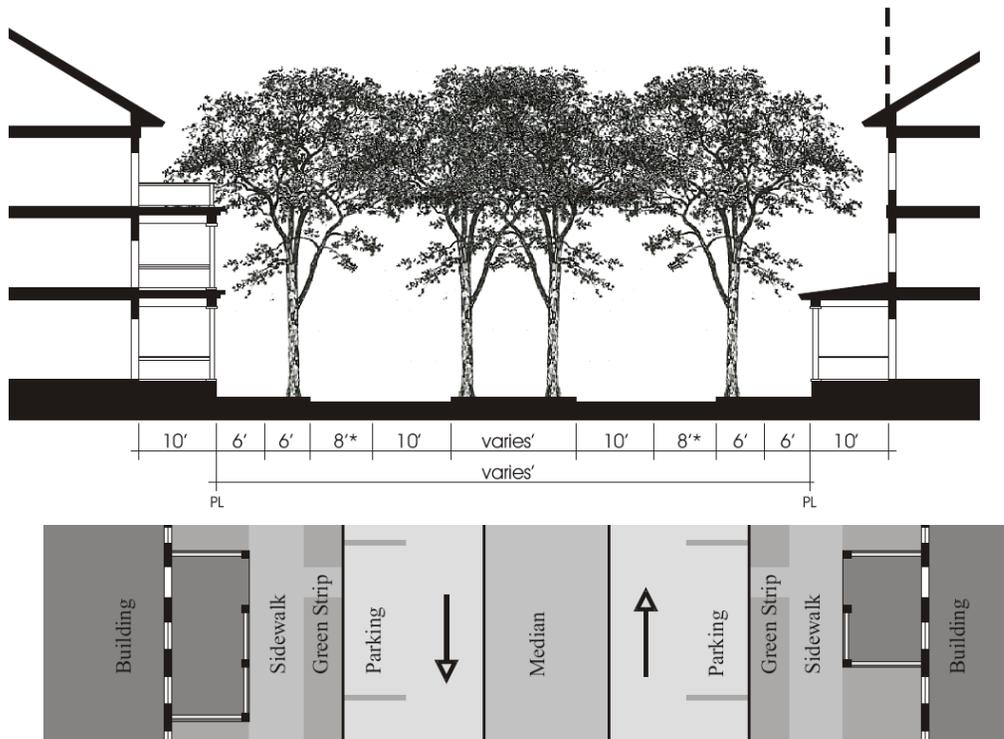
For Residential Area - (A) 10' Sidewalk
(B) 15' Greenspace

For Commercial Area - (A) 12' Sidewalk
(B) 15' Greenspace

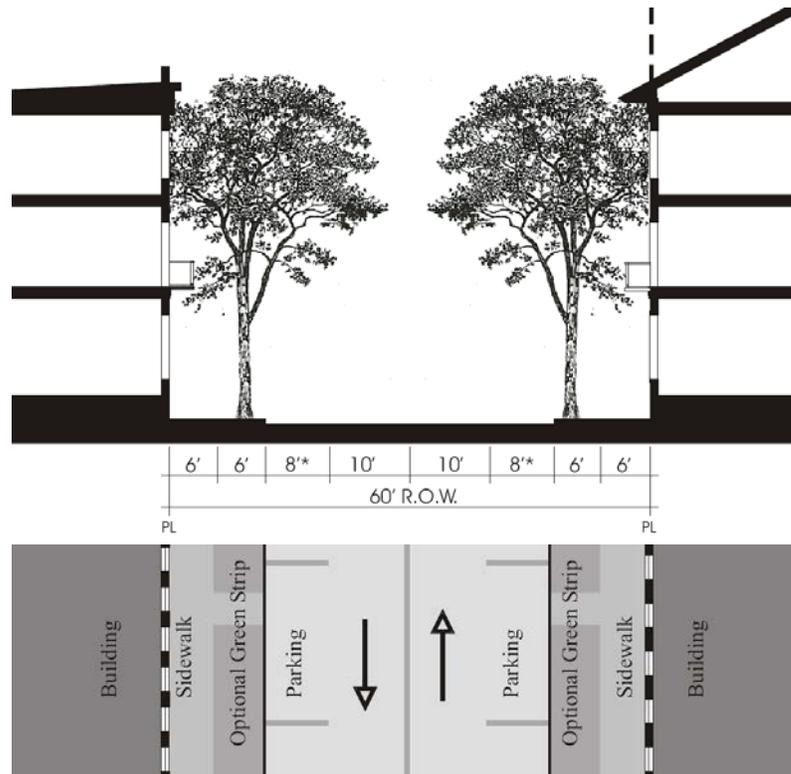
* Greenspace may be reduced to a minimum of 6' by special exception and subject to D.R.C. approval.



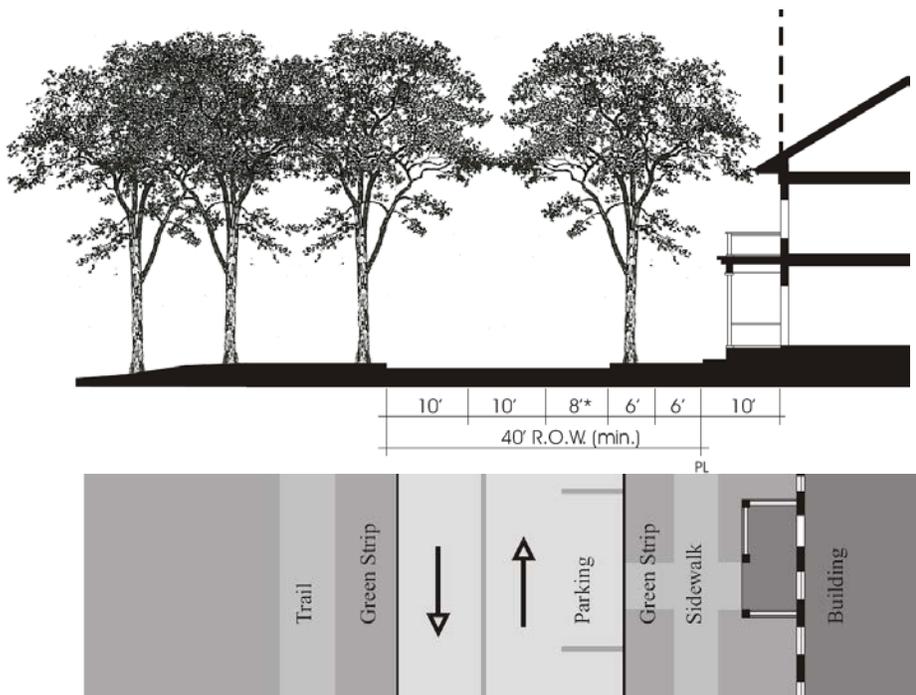
3) Urban Boulevard (Acceptable option for the Town Center Street)



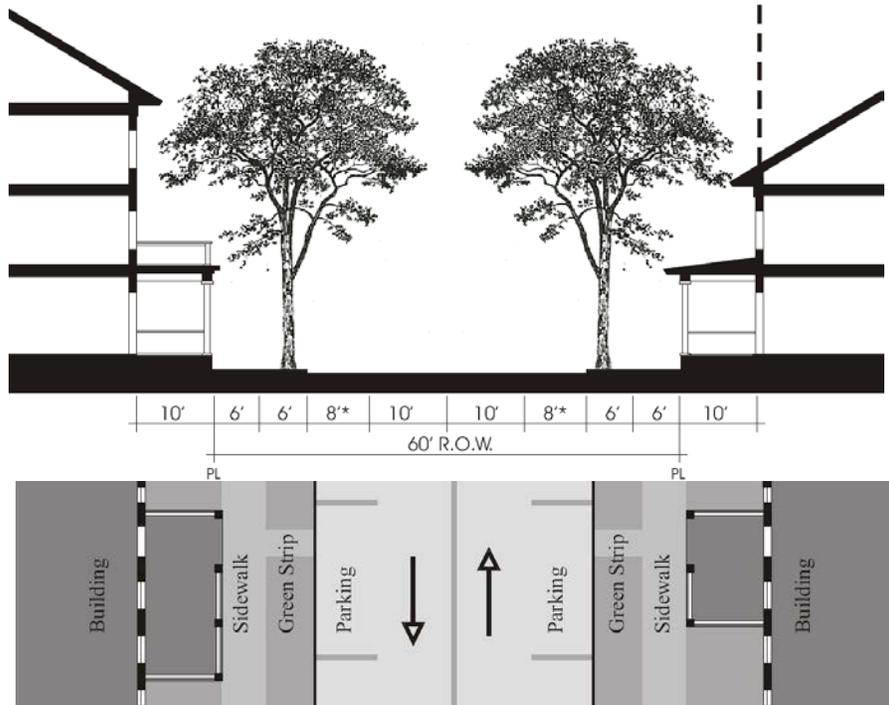
- 4) **Town Center Street** (A one-way variation of this street section is acceptable subject to approval of the Development Review Committee (DRC)).



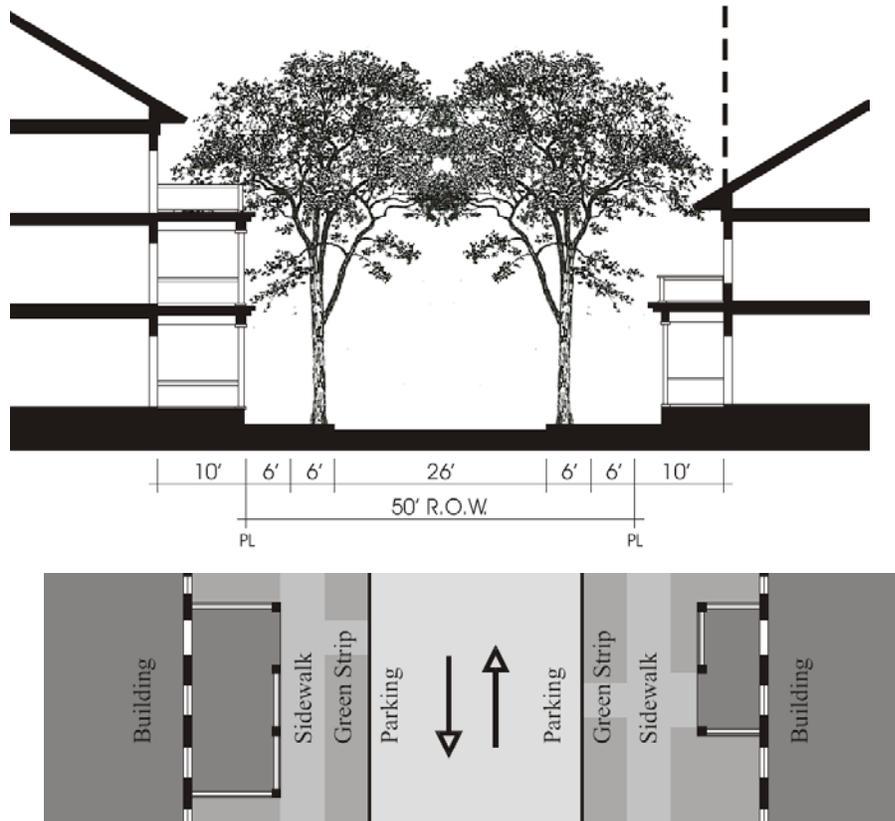
- 5) **Edge Drive**



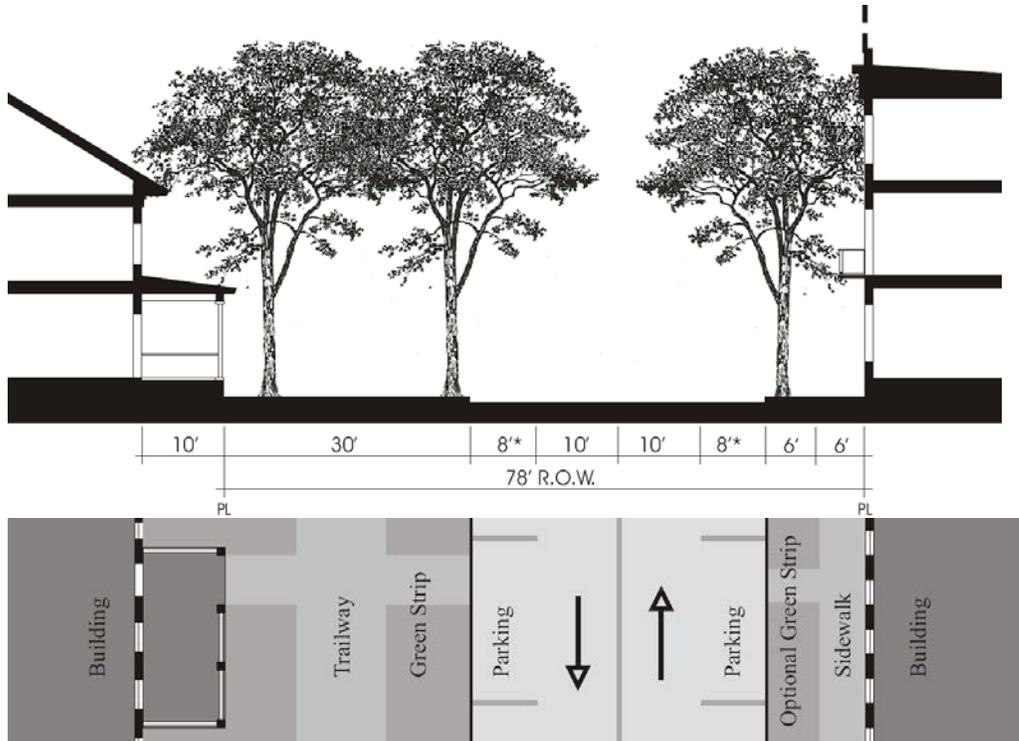
6) Neighborhood Street



7) Neighborhood Lane



8) Trail Street



(d) Civic/Public Pole Lighting and Decorative Street Signage

1. Pole Lighting Standards

Pole lighting varies in brightness and also in the character of fixtures according to the Transect. The following Tables (1-4) show specific types of lighting fixtures and poles that are approved for installation within the Town Center District. Pole and/or street lighting that is placed along public roadways, facilities and in parks must be provided by Progress Energy as part of the city’s comprehensive lighting program. Lighting placed on private property within the Town Center District must meet or exceed all specifications shown in the Tables below. Special purpose lighting must be compatible with the intended installation site and will be considered on an individual basis during the review process. Notwithstanding the information below, all lighting to be installed within the Town Center District shall be subject to review and approval by the City.

Table 1 - Standard Decorative Post Top Lighting

Transect Areas T3, T4, T5, C/P			
	Sebring	Ocala	Biscayne
High pressure sodium options	Yes	Yes	Yes
Metal halide options	No	No	No
Mounting heights	12'	12'	12'
Light pattern	Type III (Oval)	Type III (Oval)	Type III (Oval)
IES cutoff classification	Non-Cutoff	Non-Cutoff	Non-Cutoff

Table 2 - Premier Decorative Post Top Lighting

Transect Areas T3, T4, T5, C/P				
	Monticello	Flagler	Clermont	Sanibel
High pressure sodium options	Yes	Yes	Yes	Yes
Metal halide options	No	No	Yes	Yes
Mounting heights	12'	12'	20' to 35'	12' or 17'
Light pattern	Type III (Oval)	Type III (Oval)	Type III (Oval)	Type III (Oval)
IES cutoff classification	Cutoff	Non Cutoff	Cutoff	Full Cutoff

Table 3 – Poles

<p>Washington Decorative Concrete</p> <p>Height: 12' Color: Black and Decorative Gray Type: Direct Burial</p> <p>Transect Areas T3, T4, T5, C/P</p> <p>*Other pole heights may be available by special order.</p>	
<p>Victorian</p> <p>Height: 12' Color: Decorative Tan Type: Direct Burial</p> <p>Transect Areas T3, T4, T5, C/P</p> <p>*Other pole heights may be available by special order.</p>	
<p>Colonial</p> <p>Heights: 16' and 22' Color: Black Type: Direct Burial</p> <p>Transect Areas T2, T3, T4, T5, C/P</p> <p>*Other pole heights may be available by special order.</p>	

2. Decorative Street Sign Standards

Design specifications and the quality of decorative street signs vary between manufacturers. The following Tables (1-4) show exact specifications approved for decorative street signs installed within all Transect Areas of the Town Center District for public roadways, facilities and in parks. Decorative street signs installed on private property within the Town Center District must meet or exceed specifications shown in the Tables below.

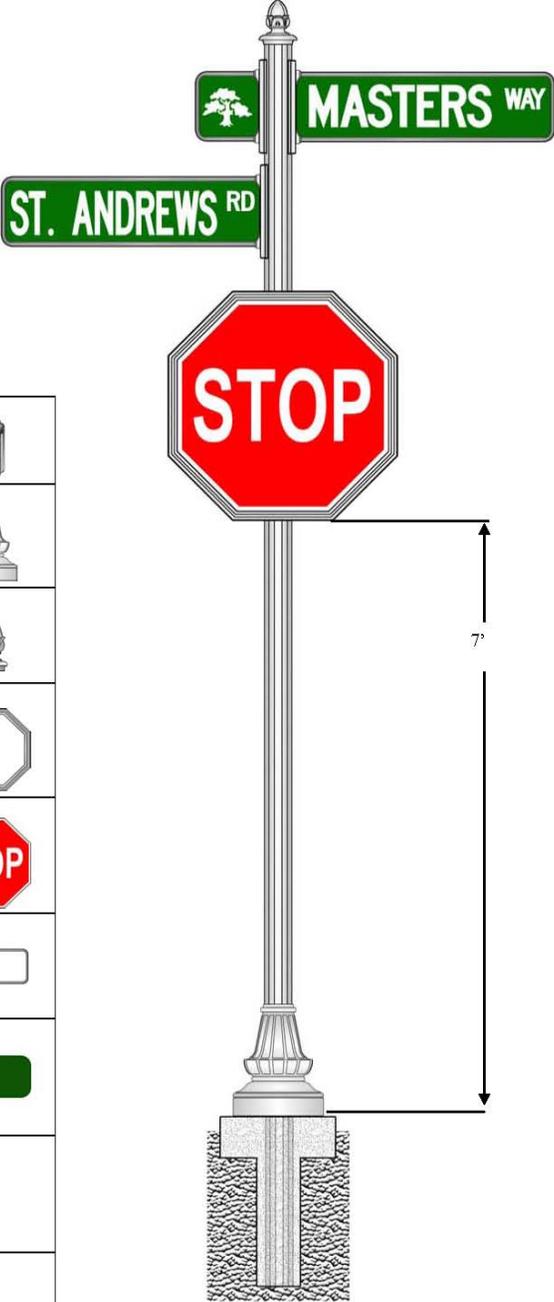
General Specifications

Decorative street sign poles shall be made of 'Extruded Aluminum Alloy' and measured by the Outer Diameter (O.D.) of the pole, having a minimum of .125 inch wall thickness. All sign parts and materials shall be finished in 'Powder Coated – Black'. Street signs and sign plates shall be in 'High Density' printing on the finish side and 'Power Coated – Black' on the back side. Decorative sign pole bases, finials and trim shall be made of 'Cast Aluminum Alloy'. Decorative street signs, their parts and installation shall comply with Florida Department of Transportation (FDOT) requirements for roadway signage.

Table 1 – Decorative Street Sign Ensemble

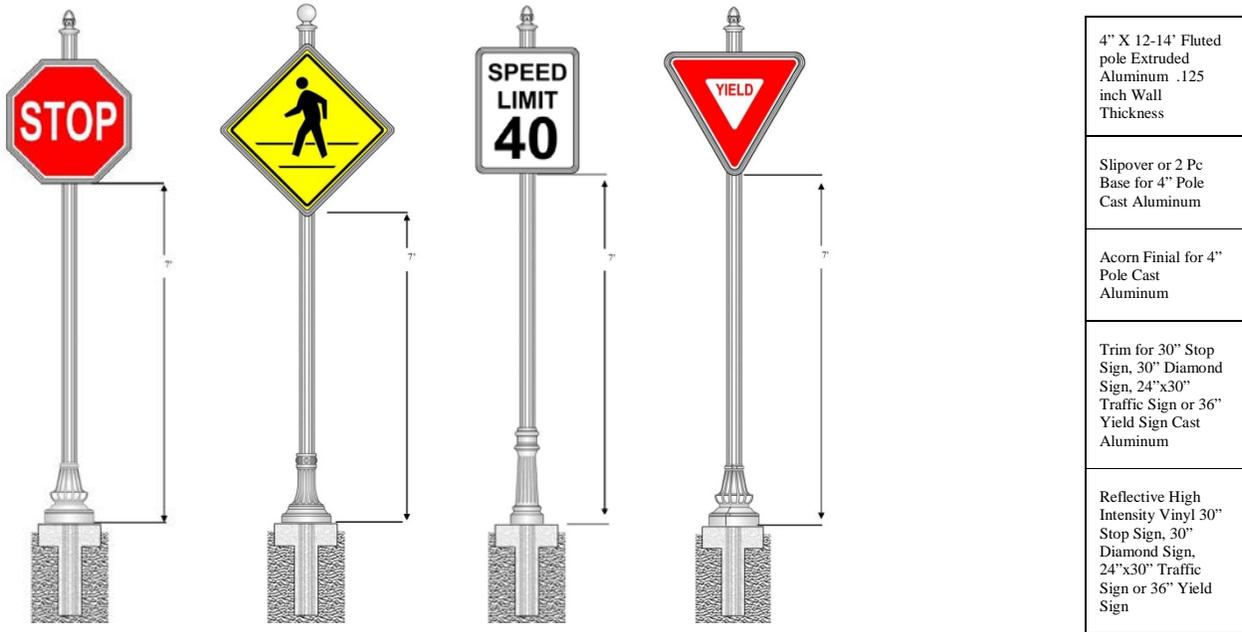
THIS SIGN MADE FROM THE PARTS BELOW:

4" X 14" Fluted pole Extruded Aluminum .0125 Wall Thickness	
Base For 4" Pole Cast Aluminum	
Acorn Finial For 4" Pole Cast Aluminum	
Trim For 30" Stop Sign Cast Aluminum	
Reflective 30" Stop Sign Specify Vinyl Type	
Trim For 9" x 36" Street Sign Extruded and Cast Aluminum	
9" x 36" Reflective Street Sign Specify Vinyl Type	
For 9" x 9" Logo Sign Extruded and Cast Aluminum	
9" x 9" Optional Logo sign	



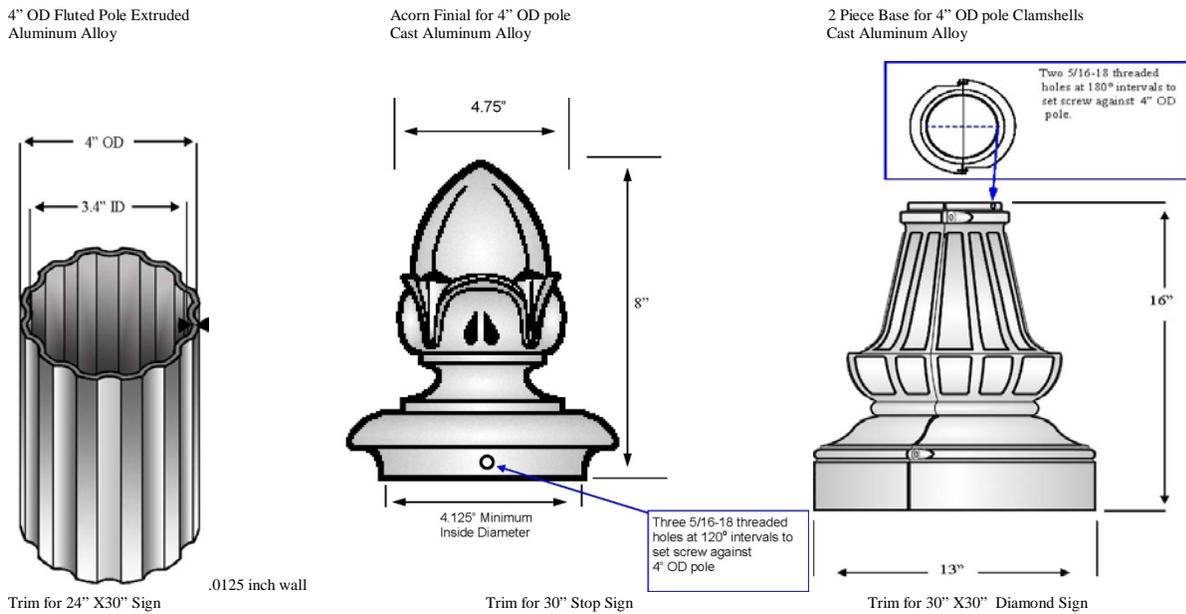
7'

Table 2 – Single Decorative Sign Types (Examples)

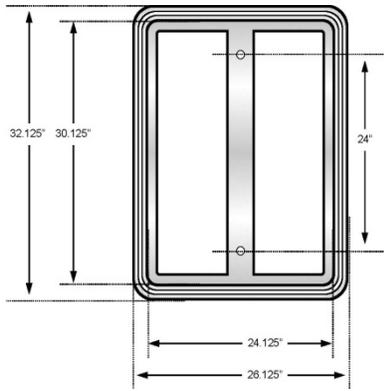


* All street sign poles when installed shall have seven (7) feet from the pole base to the bottom of sign as per Florida Department of Transportation Standards.

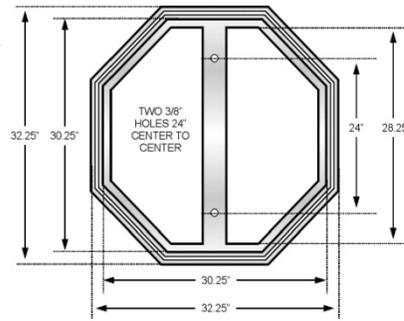
Table 3 – Decorative Sign Pieces



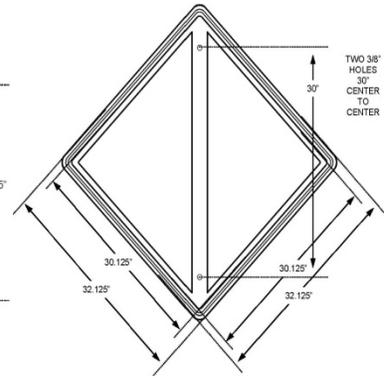
Cast Aluminum Alloy



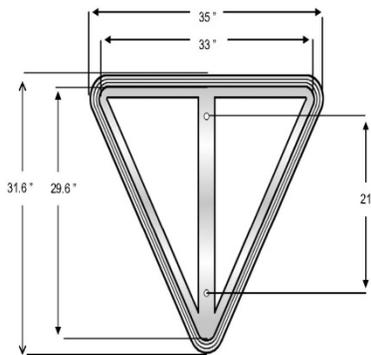
Cast Aluminum Alloy



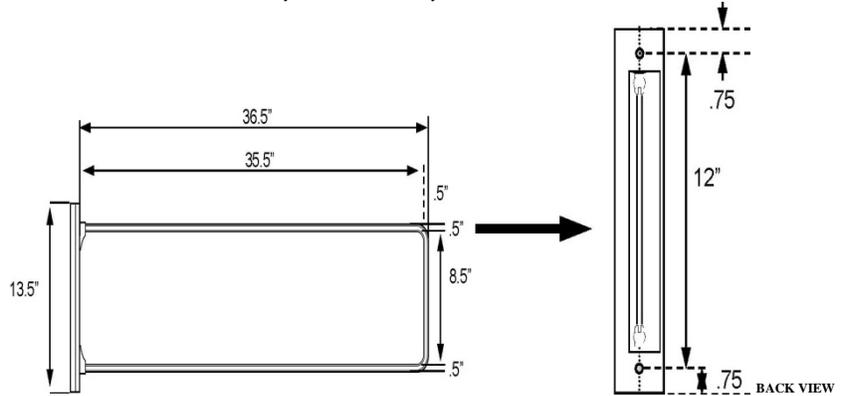
Cast Aluminum Alloy



Trim for 36" Yield Sign Cast Aluminum Alloy



Sign Trim for 9" X 36" Street Sign Cast Aluminum Back Plate Alloy Extruded Frame Alloy



Trim for 9" X 9" Logo Sign Cast Aluminum Back Plate Alloy Extruded Frame Alloy

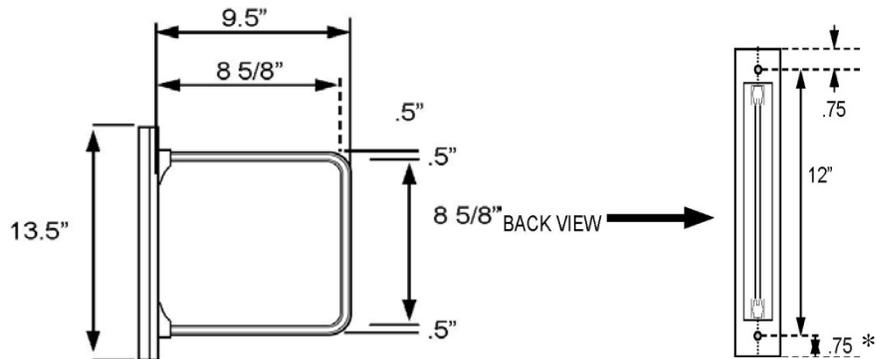
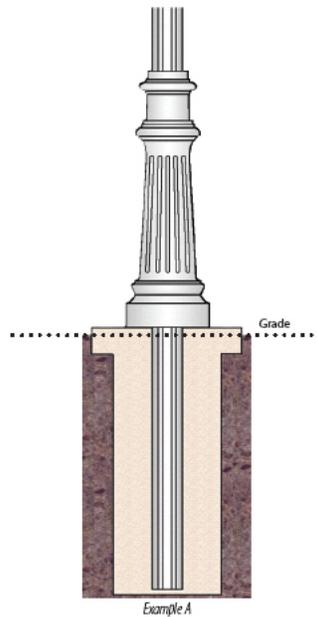


Table 4 – Installation Specifications

1. Each installation hole shall be a minimum of one (1) foot in diameter and a minimum of three (3) feet deep, according to the pole height and soil conditions.
2. Each pole shall have the sign/frame holes or channels properly aligned with the roadway.
3. Each pole shall be level and secured in place with cement.
4. Each pole shall have a cement footing with at least one (1) inch exposed above grade and at least two (2) inches exposed that is larger round than the decorative base. This will serve to protect the finish from soil and lawn equipment (See Example 'A').
5. Each hole shall be filled with cement and compacted according to manufacturer's instructions.
6. The completed project must be inspected by the City prior to acceptance.



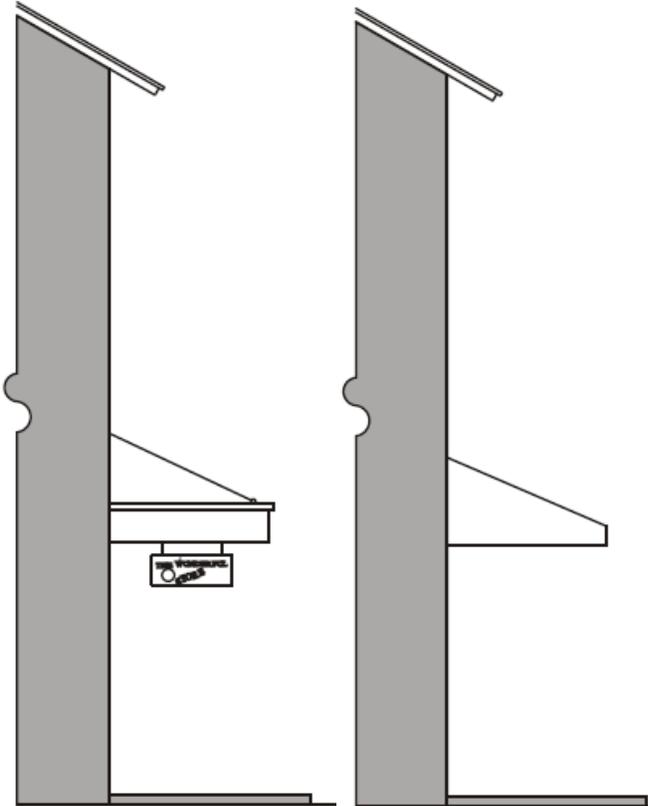
Decorative Street Sign Pole
Installation Diagram Example 'A'

3. Neighborhood Street Sign and Light Improvement Agreement (NSSLIA)

A Neighborhood Street Sign and Light Improvement Agreement with the City of Winter Springs may be available for Neighborhood Groups desiring to install decorative street signs and/or decorative street lights along public roadways. Neighborhood Groups who have a fully executed NSSLIA with the City will be reimbursed the current 'base rate' of the monthly cost for each decorative streetlight, payable when invoiced on a quarterly basis. Neighborhood Groups with a fully executed NSSLIA can have decorative street signs repaired, if parts are provided to the City prior to the need for repair. Each NSSLIA must be approved by the City Commission prior to execution of an agreement for decorative street signs and lighting.

SEC. 20-326. BUILDING ELEMENTS.

(a) AWNINGS AND MARQUEES:



Depth =	5 ft. minimum.
Height =	10 ft. minimum clear.
Length =	25% to 100% of building front.

The above requirements apply to first-floor awnings. There are no minimum requirements for awnings above the first floor.



Winter Park, FL

Marquees and awnings shall occur forward of the principle plane and may encroach within the right-of-way, but shall not extend past the curb line.

Awnings shall be made of fabric. High-gloss or plasticized fabrics are prohibited.



Winter Park, FL

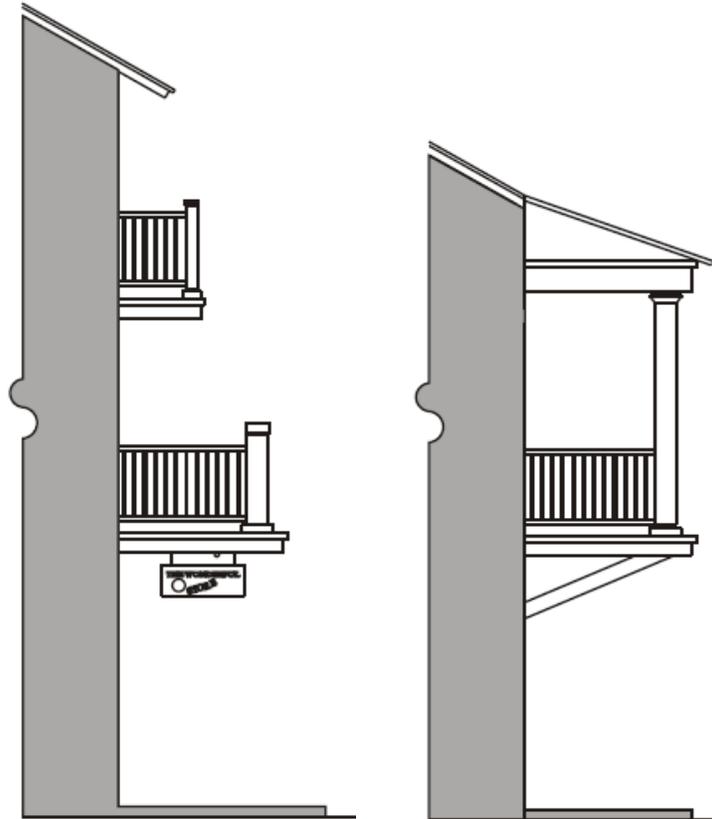


Reston, VA

(b) BALCONIES:



Celebration, FL



Balconies shall occur forward of the principle plane and may encroach within the right-of-way, but shall not extend past the curb line

<i>Depth</i> =	6 ft. minimum for 2nd floor balconies if no other building elements are employed to provide protection for pedestrians.
<i>Height</i> =	10 ft. minimum clear.
<i>Length</i> =	25% to 100% of building front.



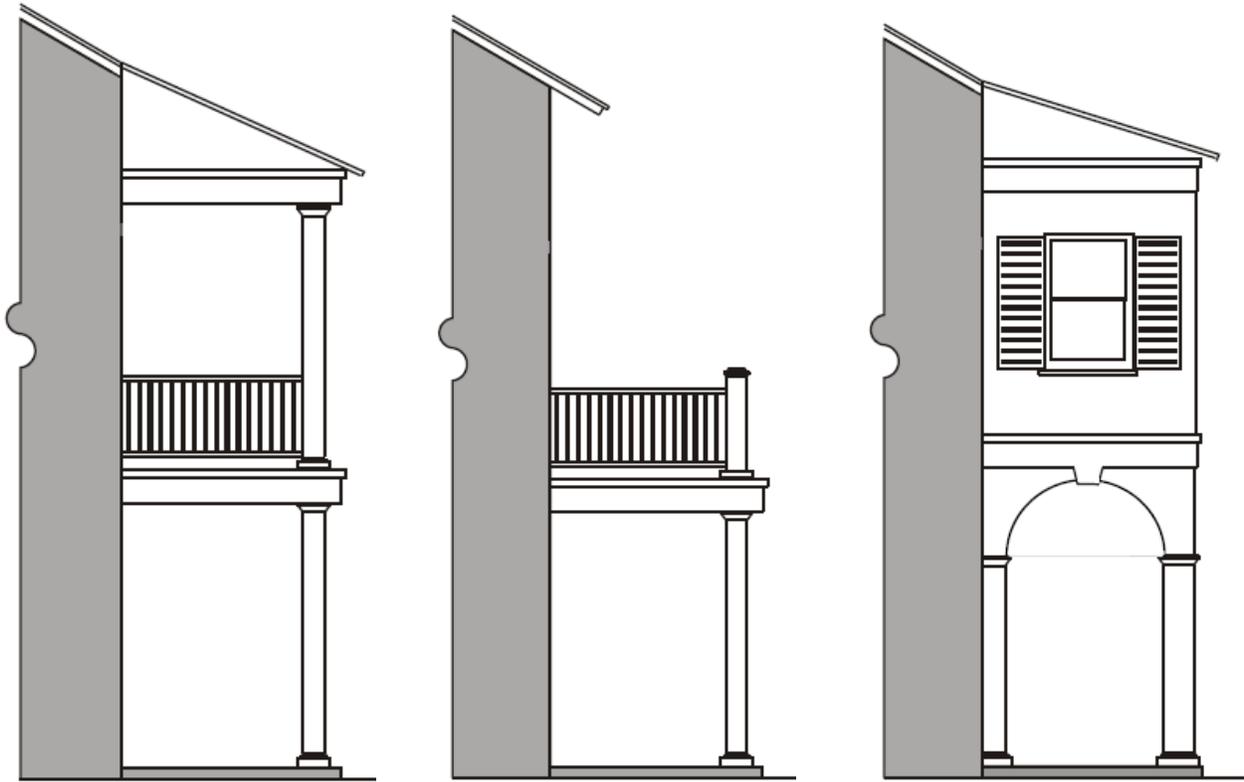
Seaside, FL

Balconies may have roofs, but are required to be open, un-air-conditioned parts of the buildings.

On corners, balconies may wrap around the side of the building facing the side street. *Winter Springs Town Center*



(c) COLONNADES/ARCADES:



Open multi-story verandas, awnings, balconies, and enclosed useable space shall be permitted above the colonnade.

<i>Depth</i> =	10 ft. minimum from the principle plane to the inside column face.
<i>Height</i> =	10 ft. minimum clear.
<i>Length</i> =	75--100% of building front.

Colonnades shall only be constructed where the minimum depth can be obtained. Colonnades shall occur forward of the principle plane and may encroach within the right-of-way, but shall not extend past the curb line. On corners, colonnades may wrap around the side of the building facing the side street.

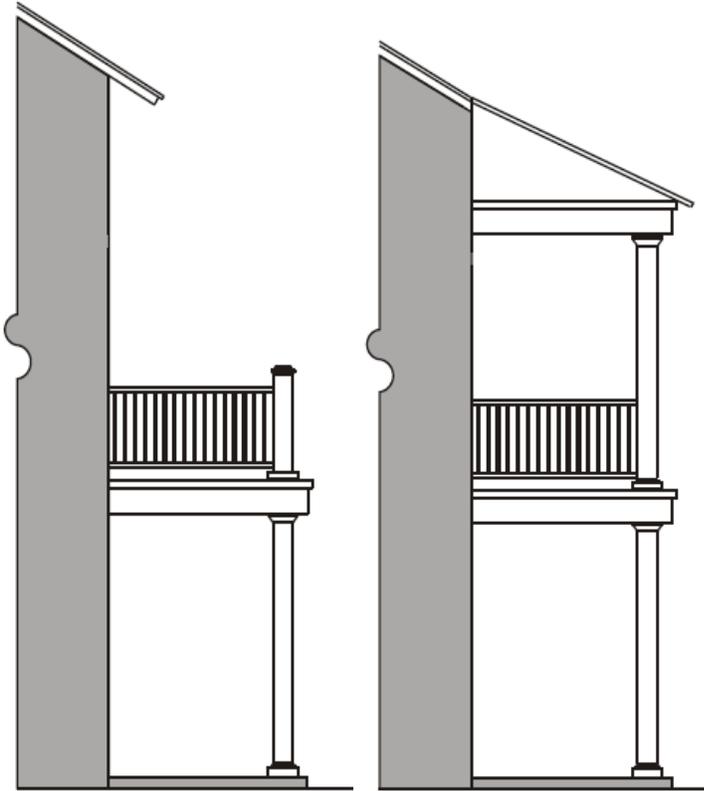


CityPlace, West Palm Beach, FL



Colonnade, Winter Springs Town Center

(d) FRONT PORCHES:



Depth =	8 ft. minimum.
Length =	25% to 90% of building front.

Front porches are required to be open, un-airconditioned parts of the buildings. More than 25% of the floor area of a porch shall not be screened if the porch extends forward of the principle plane.

Haile Plantation, Gainesville, FL



Front porches may have multi-story verandas and/or balconies above.

Front porches shall occur forward of the principle plane. Porches shall not extend into the right-of-way.

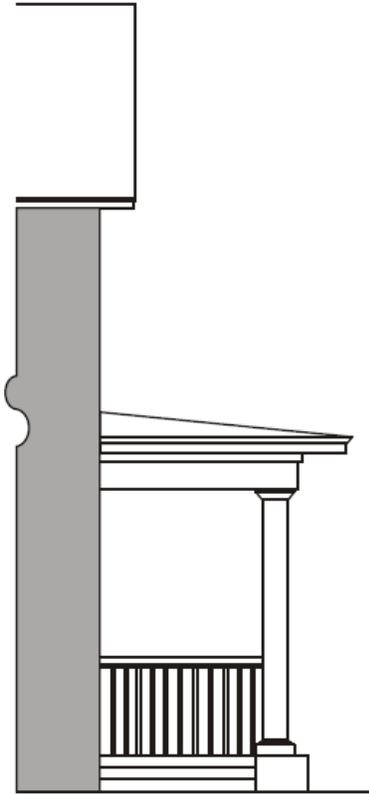


Nantucket, MA



Estate Home, Baldwin Park, Orlando, FL

(e) **STOOPS:**



Savannah, GA

Stoops are permitted and may occur forward of the principle plane. Stoops may encroach within the right-of-way with approval. Sidewalks shall have clear access for pedestrians. Stoops may be covered or uncovered.

Depth =	6 ft. minimum
Length =	5 ft. minimum



Baldwin Park, Orlando, FL



Nantucket, MA

SEC. 20-327. ARCHITECTURAL GUIDELINES.

The lists of permitted materials and configurations come from study of traditional buildings found in Central Florida and have been selected for their appropriateness to the visual environment and climate.

A primary goal of the Architectural Guidelines is authenticity. The Guidelines encourage construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials.

GENERAL REQUIREMENTS:

The following shall be located in rear yards or sideyards not facing side streets:

- Window and wall air conditioners;
- Electrical utility meters;
- Air conditioning compressors; and
- Irrigation and pool pumps.

The following shall be located in the rear yards only:

- Antennas; and
- Permanent Barbecues.

The following are prohibited:

- Undersized shutters (the shutter or shutters must be sized so as to equal the width that would be required to cover the window opening.);
- Plastic or inoperable shutters;
- Clotheslines;
- Clothes drying yards;
- Satellite dish antennas greater than 18" in diameter;
- Reflective and/or bronze-tint glass;
- Plastic or PVC roof tiles;
- Backlit awnings;
- Glossy-finish awnings; and
- Fences made of chain link, barbed wire, or plain wire mesh.



Baldwin Park, Orlando, FL

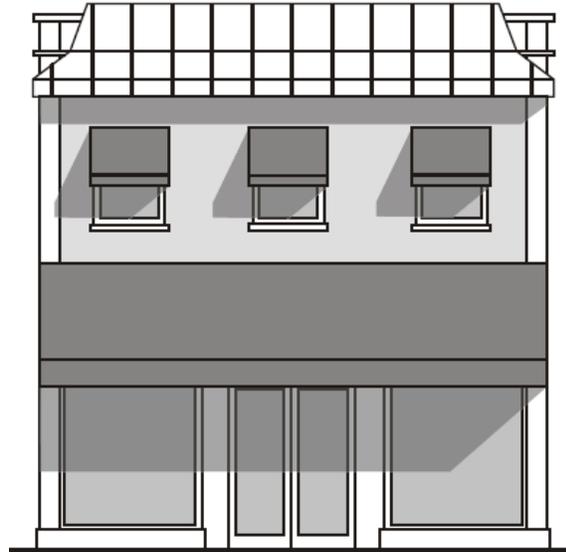
(a) BUILDING WALLS:

(1) GENERAL REQUIREMENTS. Required for all buildings except single family houses:

An expression line shall delineate the division between the first story and the second story. A cornice shall delineate the tops of the facades. Expression lines and cornices shall either be moldings extending a minimum of two (2) inches, or jogs in the surface plane of the building wall greater than two (2) inches.



Desirable



Undesirable

(2) PERMITTED FINISH MATERIALS.

- Concrete masonry units with stucco (C.B.S.)
- Reinforced concrete with stucco
- "Hardie-Plank" siding
- Wood (termite resistant): painted white, left natural (cypress and cedar preferred), or painted/stained with colors approved by the Development Review Committee.
- Brick

Winter Springs Town Center



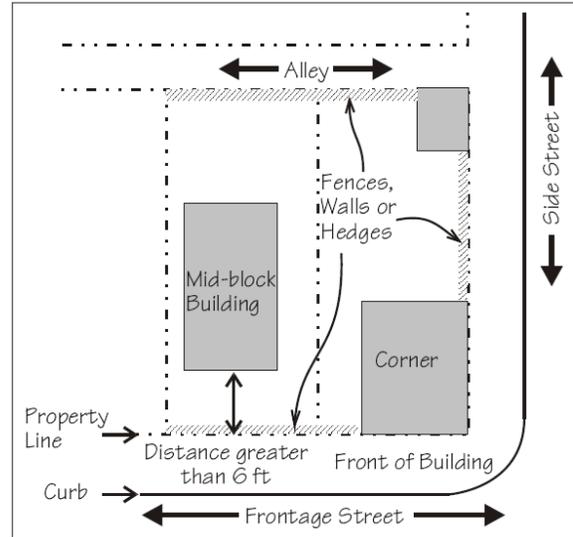
Baldwin Park, Orlando, FL



(b) GARDEN WALLS, FENCES AND HEDGES:

(1) GENERAL REQUIREMENTS. Fences, garden walls, or hedges are strongly encouraged and, if built, should be constructed along all un-built rights-of-way which abut streets and alleys as shown in the diagram below. Fences, garden walls and hedges shall be minimum twenty-five (25) percent opaque.

- Height:
 - Front yard: Maximum height of forty-eight (48) inches. Pillars and posts may extend up to six (6) inches more, to a height of fifty-four (54) inches.
 - Side and rear yards: Maximum height of seventy-two (72) inches. Pillars and posts may extend up to six (6) inches more, to a height of seventy-eight (78) inches.

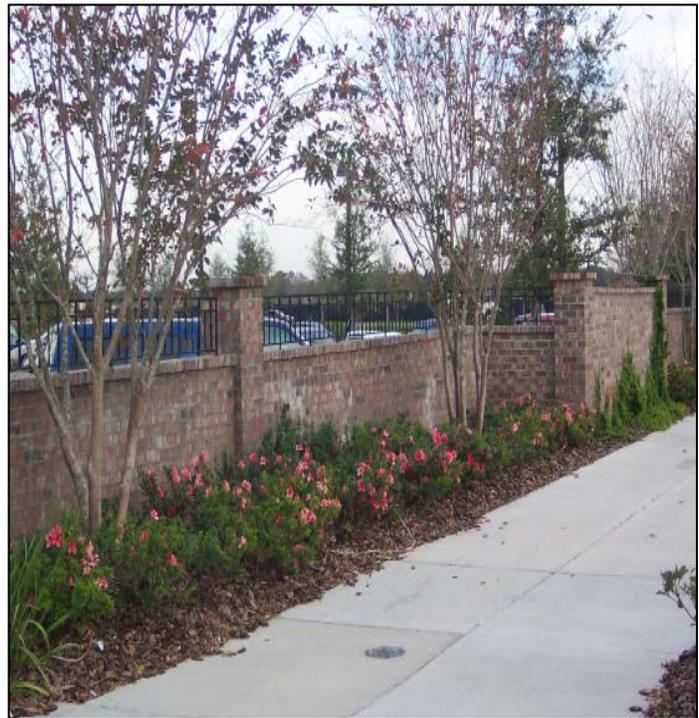


(2) PERMITTED FINISH MATERIALS.

- Wood (termite resistant): painted white, left natural, or painted/stained with colors approved by the development review committee.
- Concrete Masonry Units with Stucco (C.B.S.)
- Reinforced Concrete with Stucco
- Wrought Iron
- Brick

(3) PERMITTED CONFIGURATIONS.

- Wood:
 - Picket fences: Minimum thirty (30) percent opaque, w/corner posts
 - Other: To match building walls
- Stucco: with texture and color to match building walls
- Wrought iron: Vertical, five-eighths (5/8) inch minimum dimension, four (4) inches to six (6) inches spacing



Baldwin Park, Orlando, FL

(c) COLUMNS, ARCHES, PIERS, RAILINGS AND BALUSTRADES:

(1) GENERAL REQUIREMENTS.

- Column and pier spacing:
 - Columns and Piers shall be spaced no farther apart than they are tall.

(2) PERMITTED FINISH MATERIALS.

- Columns:
 - Wood (termite resistant), painted or natural
 - Cast Iron
 - Concrete with smooth finish
- Arches:
 - Concrete masonry units with stucco (C.B.S.)
 - Reinforced concrete with stucco brick
- Piers:
 - Concrete masonry units with stucco (C.B.S.)
 - Reinforced concrete with stucco brick
- Railings and balustrades:
 - Wood (termite resistant), painted or natural
 - Wrought Iron

(3) PERMITTED CONFIGURATIONS.

- Columns:
 - Square, six (6) inches minimum, with or without capitals and bases
 - Round, six (6) minimum outer diameter, with or without capitals and bases
 - Classical orders
 - All columns shall be spanned by an entablature or beam. Columns shall not directly support a ceiling or soffit without an entablature or beam and the face of a columns, at its to just beneath the capital, shall align and be coplanar with the face of the entablature or beam supported by the column.
- Arches:
 - Semi-circular and segmental
- Piers:
 - Eight (8) inches minimum dimension
- Porches:
 - Railings 2- 3/4" inches minimum diameter
 - Balustrades four (4) inches minimum spacing, six (6) inches maximum spacing.

Baldwin Park, Orlando, FL



CityPlace, West Palm Beach, FL



(d) OPACITY AND FACADES: Each floor of any building facade facing a park, square or street shall contain transparent windows covering from fifteen (15) percent to seventy (70) percent of the wall area.

RETAIL STOREFRONT AREAS ONLY:

In order to provide clear views of merchandise in stores and to provide natural surveillance of exterior street spaces, the ground-floor along the building frontage shall have transparent storefront windows covering no less than fifty (50) percent of the wall area. Storefronts facing Main Street, parks and squares shall remain unshuttered at night and shall utilize transparent glazing material, and shall provide view of interior spaces lit from within. Doors or entrances with public access shall be provided at intervals no greater than fifty (50) feet, unless otherwise approved by the development review committee.



St. Augustine, FL



Park Avenue, Winter Park, FL



St. Paul, MN

(e) ROOFS AND GUTTERS:



Seaside, FL

(1) GENERAL REQUIREMENTS.

- Permitted roof types:
Gabled, hipped, shed, barrel vaulted and domed. Shed roofs shall be concealed with parapets along the street frontage. Applied mansard roofs are not permitted.
- Exposed rafter ends (or tabs) at overhangs are strongly recommended.
- Downspouts are to match gutters in material and finish.

(2) PERMITTED FINISH MATERIALS.

- Metal:
 - Aluminum
 - Zinc-alum
- Shingles:
 - Asphalt or metal, "dimensional" type
 - Slate
 - Cedar shake
- Tile:
 - Clay, Terra cotta, Concrete
- Gutters:
 - Copper
 - Aluminum Galvanized
 - Copper
 - Galvanized steel

(3) PERMITTED CONFIGURATIONS.

- Metal:
 - Standing seam or "Five-vee," twenty-four (24) inches maximum spacing, panel ends exposed at overhang
- Shingles:
 - Square, rectangular, fishscale, shield
- Tile:
 - Barrel, flat, French
- Gutters:
 - Rectangular section
 - Square section
 - Half-round section



Naples, FL

(f) WINDOWS, SKYLIGHTS, AND DOORS:

(1) GENERAL REQUIREMENTS.

Rectangular window openings facing streets shall be oriented vertically.

The following accessories are permitted:

- Shutters (standard or Bahama types)
- Wooden window boxes
- Muntins and mullions
- Fabric awnings (no backlighting; no glossy-finish fabrics)

(2) FINISH MATERIALS.

- Windows, skylights, and storefronts:

Wood	Aluminum
Copper	Steel
Vinyl clad wood	

- Doors:

Wood or Metal

(3) PERMITTED CONFIGURATIONS.

- Windows:

Rectangular	Square
Semi-circular	Round (eighteen (18) inches maximum outer diameter)
Octagonal	



Nantucket, MA

- Window operations:
 - Casement
 - Single and double-hung
 - Industrial
 - Fixed Frame (thirty-six (36) SF max.)
- Skylights:
 - Flat to the pitch of the roof
- Door Operations:
 - Casement
 - French
 - Sliding (rear only)

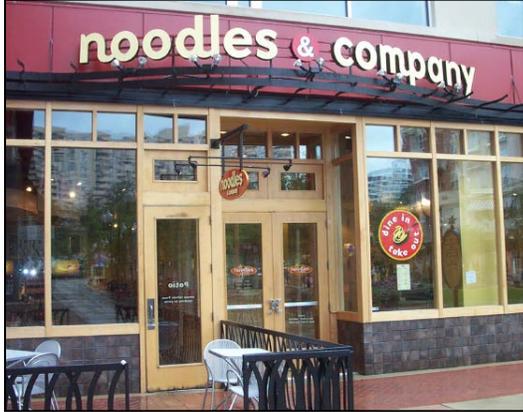


Nantucket, MA

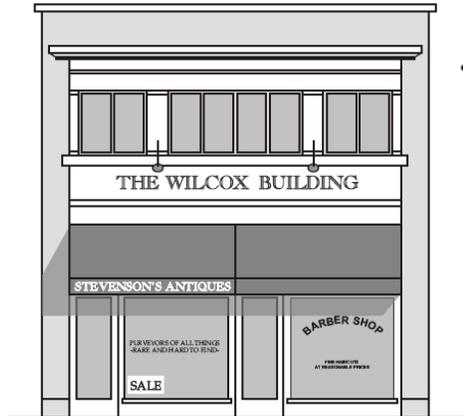
SEC. 20-327.1 SIGNS:

(a) GENERAL REQUIREMENTS.

All signs shall be subject to a discretionary aesthetic appropriateness review by the DRC in order that signs are consistent and in harmony with the Winter Springs Town Center. The DRC shall use graphics in this section as nonbinding guidelines, but shall make a determination of appropriateness on a case by case basis.



Pentagon Row, VA

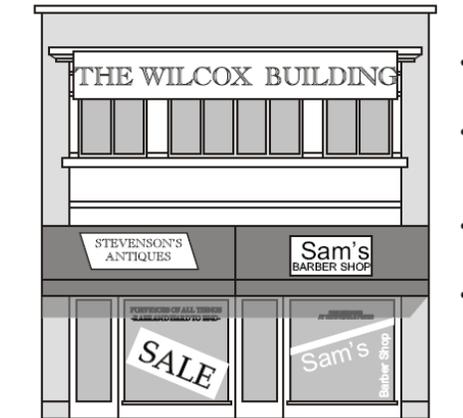


Desirable

- Signs are coordinated in size and placement with the building and storefront



Internally lit plastic signs are designed for high speed "strip" centers, not a pedestrian oriented town center.



Undesirable

- Building sign conceals the cornice
- Over-varied sign shapes create visual confusion
- Awning sign covers the masonry piers
- Sale sign too large for storefront and poorly placed in display window

The intent of regulating signs that are visible from the Public Frontage is to ensure proper dimensioning and placement with respect to existing or planned architectural features, to maintain or improve public safety, to maintain or improve the aesthetic character of the context in which they are located, and to provide legible information for pedestrians, not just drivers.

Signs shall be flat against the facade, mounted projecting from the facade, or mounted above the top of the facade. Free standing monument signs are permitted by special exception along State Road 434 frontage.

Temporary menu board signs are permitted subject to the restrictions and uniform design standards set forth in this Town Center Code.

Wayfinding signage is encouraged, but must maintain the uniform design standards adopted by the DRC for the Town Center.

Signs shall be externally lit. Individual letters and symbols may be internally lit or back-lit and may project no more than twelve (12) inches from the facade.



Front lit metal lettering from façade gives depth to the signage.

(b) FINISH MATERIALS.

- Wood: painted or natural
- Metal: copper, brass, galvanized steel, aluminum
- Painted canvas
- Neon
- Paint/engraved directly on facade surface

(c) CONFIGURATIONS.

Maximum gross area of signs on a given facade shall not exceed ten (10) percent of the applicant's facade area.

Maximum area of any single sign mounted perpendicular to a given facade shall not exceed 10 square feet, except for FIN signs. All projecting signs shall be installed in such a manner that there shall be no visible angle iron support structure above a roof, building face or wall, unless such brackets are incorporated into the signage as decorative elements of the signage.

Signs shall maintain a minimum clear height above sidewalks of eight (8) feet.

All signs shall be designed to be compatible with the respective storefront and subject building in scale, proportion, and color and should be visually interesting and compatible in the context of the Town Center guidelines.



Signs include a variety of font styles and are centered above the entrance. Cliff Rose Drive, Winter Springs Town Center

Marquee signs shall be mounted substantially parallel with the face of the canopy or marquee but shall not be located in such a way as to cause a reduction in the minimum clearance standards set forth in section 20-326. In addition, marquee signs shall not extend more than two (2) feet above the canopy or marquee to which it is attached and shall be consistent with Section 327.1(d)(5).

Menu board signs are temporary accessory signs which display information about the goods and services of adjacent business that customarily have frequent walk in traffic such as eating and drinking establishments and light retail businesses. A maximum of one (1) menu board sign shall be allowed per business frontage.

Menu signs shall be utilized only during regular business hours and shall be removed during non-business hours and during serious incidents of inclement weather that may destabilize the menu board.



Naples, FL



Elegant and reserved cast bronze address plate located at pedestrian eye level, Orlando, FL

Menu boards may be placed on private property or within the public right-of-way, provided they do not interfere with vehicle access, pedestrian movement, or wheel chair access to, through, and around the site. At least six (6) feet of clear sidewalk width must remain for pedestrian traffic. The total sign area per face shall not exceed six (6) square feet. Maximum height shall be four and one-half (4 1/2) feet.

FIN signs are vertically oriented projecting signs, that are uniquely situated and customized for high visibility. Fin signs shall not exceed twenty-eight (28) feet in height above the ground and shall be placed at least twelve (12) feet above the public sidewalk. Fin signs shall be between fifteen (15) square feet and twenty-five (25) square feet in area, but shall not extend more than five (5) feet from the building wall. All fin signs shall be installed in such a manner that there shall be no visible angle iron support structure above a roof, building face or wall unless such brackets are incorporated into the signage as decorative elements of the signage.



Reston, VA

Examples of Signs Mounted Flat Against the Façade:



The top edge of the façade is shaped to create a special focal spot for the sign.



The sign is centered within the symmetrical arrangement of the window above and shopfront below and has internally lit letters.



The sign runs horizontally along the expression line and has internally lit letters.



A

Sign painted directly on the façade above the main entrance with external lighting discreetly located above the awning. The variety in font size and style give added interest.

Examples of Signs Mounted Projecting from the Façade:



Neon signs can provide a warm glow, enhancing night time pedestrian activity.



Vertical projecting signs are highly visible far down the street. A lower awning sign caters to people on foot and in cars passing directly in front of the venue.



Sign painted on the face of a canvas awning over entry and lit discreetly by external lighting.



Signs hanging from the ceilings of arcades command the attention of pedestrian shoppers.

Examples of Signs Mounted Above the Top of the Façade:



Signs projecting from the tops of buildings are highly visible from a great distance.



Projecting signs which break the skyline are visible from a variety of distances and serve as beacons to customers when lit at night.



Signs projecting above the roof stand out against the sky, adding an architectural flair to a shop's identity. This distinctive sign, made of individual letters projecting from the front of the facade and extending above the cornice line, is memorable to shoppers and is highly visible from many directions.

A second lower sign marks the entrance to the store.

Photograph by Brent Bates

(d) Sign Standards

1. Specific to Address Signs

- a. Address Sign numerals applied to Retail, Office, Residential, Institutional, or Industrial buildings shall be between four (4) and six (6) inches tall. Address Sign numerals applied to individual dwelling units in Apartment buildings shall be at least two (2) inches tall.
- b. Address signs shall be easily visible by using colors or materials that contrast with their background.
- c. Address signs shall be constructed of durable materials.
- d. The address sign shall be attached to the front of the building in proximity to the Principal Entrance or at a mailbox.

2. Specific to Awning Signs

- a. The following variations of awnings, with or without Signbands, are permitted:
 - i. Fixed or retractable awnings
 - ii. Shed Awnings
 - iii. Dome awnings
- b. Signage shall be limited to the Valance of the awning or the vertical portion of a dome awning.
- c. No portion of an awning shall be lower than eight (8) feet Clearance.
- d. Awnings shall be a minimum of 4 feet in depth.
- e. Awnings shall not extend beyond the width of the building or tenant space, nor encroach above the roof line or the Story above.
- f. The height of the Valance shall not exceed twelve (12) inches.
- g. Awning Signs shall contain only the business name, logo, and/or street address.
- h. Letters, numbers, and graphics shall cover no more than seventy percent (70%) of the Valance area.
- i. Awning Signs shall not be internally illuminated or backlit.

3. Specific to Band Signs

- a. All businesses are permitted one (1) Band Sign on each first Story Facade.
- b. Band Signs shall include only letters, background, lighting, and an optional logo. Information shall consist only of the name and/or logo of the business. Band Signs shall not list products, sales, or other promotional messages, or contact information.
- c. The following Band Sign construction types are permitted:

- i. Cut-out Letters. Letters shall be individually attached to the wall or on a separate background panel, and shall be externally illuminated.
 - ii. Flat Panel. Letters shall be printed or etched on same surface as the background, which is then affixed to the wall and externally illuminated.
- d. Height and width shall be measured using smallest rectangle that fully encompasses the entire extent of letters, logo and background.
- e. Band Signs shall not be wider than 90% of the width of the building Facade or tenant space.
- f. Band Signs shall not project vertically above the roof line.
- g. Band Signs that are illuminated shall be shielded from direct view to reduce glare.
- h. Electrical raceways, conduits and wiring shall not be exposed. Internal lighting elements shall be contained completely within the sign assembly or inside the wall.
- i. Band Signs should be placed where the architectural features suggest the best placement for signage. They should be vertically aligned with the center of an architectural feature such as a storefront window, entry portal, or width of a bay or overall retail space. They shall not interrupt or obscure these features or cause visual disharmony.
- j. Where multiple Band Signs are present on a single building (i.e. corner building), signage shall be coordinated in terms of scale, placement, colors and materials.

4. Specific to Blade Signs

- a. Blade Signs may be double-sided.
- b. Blade Signs shall be permitted only for businesses that have a Principal Entrance on the first Story.
- c. Businesses shall be permitted one (1) Blade Sign where its Principal Frontage Line is no more than five (5) feet from the Facade. Businesses that have a Secondary Frontage Line that is no more than two (2) feet from the Facade shall be permitted one (1) additional Blade Sign on that Facade.
- d. Blade Signs may encroach into the Public Frontage up to four (4) feet and shall clear the Sidewalk by at least eight (8) feet.
- e. Blade Signs shall not encroach above the roof line nor above the bottom of the second Story window.
- f. Text and graphics on the Blade Sign shall be limited to the name and/or logo of the business. Slogans, address labels, operating hours and contact information shall not be permitted.
- g. Mounting hardware, such as supports and brackets, may be simple and unobtrusive or highly decorative, but shall complement the design of the sign, the building, or both.
- h. For buildings with multiple signs, mounting hardware or sign shapes, sizes and colors shall be coordinated.

5. Specific to Marquees

- a. Marquees shall be located only above the Principal Entrance of a building.
- b. No Marquee shall be wider than the entrance it serves, plus two (2) feet on each side thereof.
- c. No portion of a Marquee shall be lower than ten (10) feet Clearance.
- d. No Marquee shall extend closer to the Curb than three (3) feet.
- e. Columns or posts may be used as supports for Marquees eight (8) feet deep or deeper by Warrant.
- f. All Marquees, including anchors, bolts, supporting rods and braces, shall be constructed of non-combustible materials and shall be designed by a structural engineer and approved by the Building Official.
- g. Marquee components and materials may vary. Anchors, bolts, and supporting rods should be limited to the interior of the Marquee.
- h. Message Boards shall be permitted as part of Marquees.
- i. A Band Sign shall be permitted above a Marquee.

6. Specific to Nameplates

- a. Nameplates shall consist of either a panel or individual letters applied to a building wall within ten (10) feet of an entrance to the building.
- b. One Nameplate shall be permitted per address.
- c. Nameplates shall not exceed three (3) square feet.
- d. Nameplates shall be constructed of durable materials.

7. Specific to Outdoor Display Cases

- a. Each outdoor display case shall not exceed six (6) square feet.
- b. Outdoor display cases may be externally or internally illuminated.
- c. Theaters may be permitted larger outdoor display cases on a case-by-case basis.
- d. Outdoor display cases shall not be attached to Shopfront windows.

8. Shingle Signs

- a. Shingle Signs shall be consistent with the standards for Blade Signs except 5.d and 5.f.
- b. A building may have both the prescribed number of Blade Signs and the same number of Shingle Signs.
- c. Shingle Signs may encroach into the Public Frontage up to two (2) feet and shall clear the Sidewalk by at least seven (7) feet.

d. Text and graphics on the Shingle Sign shall be limited to the name, logo, and suite number of the business. Slogans, full street address labels, operating hours and contact information are not permitted.

9. Specific to Sidewalk Signs (Menu Board Signs)

a. Sidewalk Signs shall consist of freestanding, double-sided temporary signs placed at the entrance to a business in a primarily pedestrian environment.

b. Sidewalk Signs shall be removed at the close of business each day.

c. One (1) Sidewalk Sign shall be permitted for each business frontage.

d. Sidewalk Signs shall not exceed 54 inches in height or 26 inches in width.

e. Sidewalk Signs shall be moved inside during high winds or other weather conditions that might pose a hazard to public safety.

10. Specific to Window Signs

a. Only the following Window Sign types shall be permitted:

i. Vinyl applique letters applied to the window. Appliques shall consist of individual letters or graphics with no visible background.

ii. Letters painted directly on the window.

iii. Hanging signs that hang from the ceiling behind the window.

iv. Door signs applied to or hanging inside the glass portion of an entrance doorway.

b. Window signs shall not interfere with the primary function of windows, which is to enable passersby and public safety personnel to see through windows into premises and view product displays.

c. Window signs shall be no larger than 25% of the total area of the window onto which they are applied. Sign area shall be measured using smallest rectangle that fully encompasses the entire extent of letters, logo and background.

d. Window signs may list services and/or products sold on the premises, or provide phone numbers, operating hours or other messages, provided that the total aggregate area of these messages not exceed the limit provided above.

e. Letters on window signs shall be no taller than eight (8) inches.

11. Specific to Yard Signs

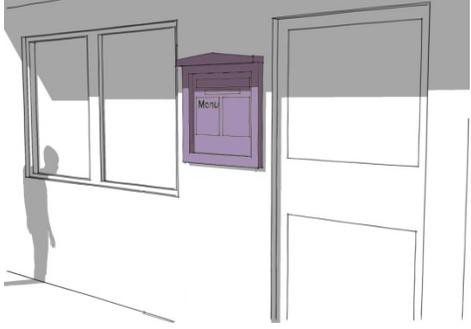
a. One single- or double-post yard sign for each business may be permitted, provided it is set back at least six (6) feet from the Frontage Line, does not exceed six (6) square feet excluding posts, and does not exceed six (6) feet in height including posts, measured from the yard at the post location.

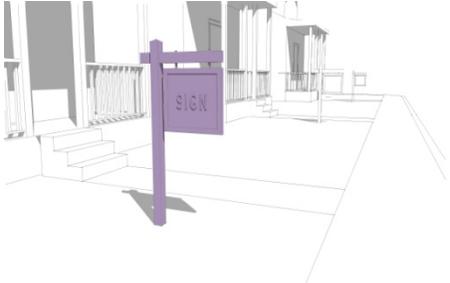
12. Specific to Temporary Signs and Banners

a. Temporary signs of all types may be approved subject to Section 16-87 of the City Code of Ordinances.

Address Sign	T1	T2	T3	T4	T5	C/P	Specifications
	P	P	P	P	P	P	<ul style="list-style-type: none"> 1.Quantity 1 per address 2. Area Max 2 sq ft 3. Width Max 24 in 4. Height Max 12 in 5. Depth/projection Max 3 in 6. Clearance Min 4 ft 7. Apex n/a 8. Letter Height Max 6 in
				P	P	SE	<ul style="list-style-type: none"> 1.Quantity 1 per window 2. Area n/a 3. Width Width of façade 4. Height n/a 5. Depth/projection Min 4 ft 6. Clearance Min 10 ft, 1st floor only 7. Apex n/a 8. Letter Height Max 10 in 9. Valence height Max 12 in 10. Distance from curb Min 2 ft
			P	P	P	P	<ul style="list-style-type: none"> 1.Quantity 1(2 for corner buildings) 2. Area 1.5 sq ft per lineal ft/façade 3. Width Max 90% width of façade 4. Height Max 3 ft 5. Depth/projection Max 12 in 6. Clearance Min 8 ft 7. Apex n/a 8. Letter Height Max 18 in

Blade Sign	T1	T2	T3	T4	T5	C/P	Specifications
			P	P	P	P	<ul style="list-style-type: none"> 1. Quantity 1 per façade, 2 max 2. Area Max 6 sq ft 3. Width Max 4 ft 4. Height Max 4 ft 5. Depth/projection Max 4 ft 6. Clearance Min 8 ft 7. Apex n/a 8. Letter Height Max 8 in
					P	SE	<ul style="list-style-type: none"> 1. Quantity 1 per business 2. Area n/a 3. Width Entrance plus 2ft each side 4. Height Min 10 ft 5. Depth/projection Min 5 ft, Max curblin 6. Clearance Min 10 ft 7. Apex n/a 8. Letter Height n/a
			P	P	P	P	<ul style="list-style-type: none"> 1. Quantity 1 2. Area Max 3 sq ft 3. Width Max 18 in 4. Height Max 2 ft 5. Depth/projection Max 3 in 6. Clearance Min 4 ft 7. Apex Max 7 ft 8. Letter Height n/a

Outdoor Display Case	T1	T2	T3	T4	T5	C/P	Specifications
			P	P	P	P	1. Quantity 1 2. Area Max 6 sq ft 3. Width Max 4 ft 4. Height Max 4 ft 5. Depth/projection Max 5 in 6. Clearance Min 4 ft 7. Apex n/a 8. Letter Height n/a
			P	P	P	P	1. Quantity 1 per façade, 2 max 2. Area Max 4 sq ft 3. Width Max 2ft 4. Height Max 3 ft 5. Depth/projection Max 2 ft 6. Clearance Min 8 ft 7. Apex n/a 8. Letter Height Max 8 in
				P	P	P	1. Quantity 1 per street address 2. Area Max 8 sq ft 3. Width Max 26 in 4. Height Max 4.5 ft 5. Depth/projection n/a 6. Clearance n/a 7. Apex Max 4.5 ft 8. Letter Height n/a

	T1	T2	T3	T4	T5	C/P	Specifications
<p>Window Sign</p> 			P	P	P	P	<p>1.Quantity 1 per window</p> <p>2. Area Max 25% of glass</p> <p>3. Width Varies</p> <p>4. Height Varies</p> <p>5. Depth/projection n/a</p> <p>6. Clearance 4 ft</p> <p>7. Apex n/a</p> <p>8. Letter Height Max 8 in</p>
<p>Yard Sign</p> 			P	P		P	<p>1.Quantity 1 per lot</p> <p>2. Area Max 6 sq ft</p> <p>3. Width 3 ft (excluding post)</p> <p>4. Height 2 ft (excluding post)</p> <p>5. Depth/projection n/a</p> <p>6. Clearance Min 3 ft</p> <p>7. Apex Max 6 ft to top of post</p> <p>8. Letter Height Max 8 in</p>